

AGENDA



ARCHITECTURAL REVIEW BOARD MEETING

CITY HALL, 385 SOUTH GOLIAD STREET, ROCKWALL, TEXAS

JANUARY 13, 2026 IN THE CITY COUNCIL CONFERENCE ROOM AT 5:00 PM

NOTES ABOUT PUBLIC PARTICIPATION = **RED**

(I) CALL TO ORDER

(II) OPEN FORUM

This is a time for anyone to address the Architectural Review Board (ARB) on any topic. Per the policies of the City of Rockwall, public comments are limited to three (3) minutes out of respect for the time of other citizens. On topics raised during the OPEN FORUM, please know that the Architectural Review Board (ARB) is not permitted to respond to your comments during the meeting per the Texas Open Meetings Act.

(III) ACTION AGENDA

(1) **SP2025-041 (HENRY LEE)**

Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a Site Plan for a Medical Office Building on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

(2) **SP2025-042 (HENRY LEE)**

Discuss and consider a request by Henry Nguyen of Henry Nguyen Consulting, LLC on behalf of Lien Nguyen of Beauty Legacy, LLC for the approval of a Site Plan for a Strip Retail Center on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740], and take any action necessary.

(3) **SP2025-043 (BETHANY ROSS)**

Discuss and consider a request by Jonathan Hake of Cross Engineering Consultants, Inc. on behalf of Clay Shipman of Shipman Fire Protection for the approval of a Site Plan for an Office Building and Restaurant on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lot 19, Block A, La Jolla Pointe Addition and Lot 10, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1010-1100 La Jolla Pointe Drive, and take any action necessary.

(4) **SP2025-044 (BETHANY ROSS)**

Discuss and consider a request by Elliott Bogart of Triangle Engineering, LLC on behalf of Spencer Shaw of SS Realty, LTD for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 2.11-acre parcel of land identified as Lot 1, Block C, Nolan Power Building Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1575 Technology Way, and take any action necessary.

(5) **SP2025-046 (BETHANY ROSS)**

Discuss and consider a request by Chet Leugers of Westwood Professional Services on behalf of Shannon Foltz of the Rockwall Economic Development Corporation (REDC) for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 41.04-acre tract of land identified as Lot 1, Block A, Rockwall Technology Park, Phase IV Addition and Tract 1 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 3400 Discovery Boulevard, and take any action necessary.

(IV) ADJOURNMENT

The City of Rockwall Planning and Zoning Commission reserves the right to adjourn into executive session at any time to discuss any matters listed on the agenda above, as authorized by Texas Government Code §551.071 (Consultation with City Attorney).

This facility is wheelchair accessible and accessible parking spaces are available. Request for accommodations or interpretive services must be made 48 hours prior to this meeting. Please contact the City Secretary's Office at (972) 772-6406 for further information.

I, Melanie Zavala, Planning and Zoning Coordinator for the City of Rockwall, Texas, do hereby certify that this Agenda was posted at City Hall, in a place readily accessible to the general public at all times, on January 7, 2026 prior to 5:00 PM, and remained so posted for at least 72 continuous hours preceding the scheduled time of said meeting.



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

DATE: January 13, 2026

APPLICANT: Lisa Deaton; *Palm Development Partners, LLC*

CASE NUMBER: SP2025-041; *Site Plan for a Medical Office Building*

SUMMARY

Discuss and consider a request by Lisa Deaton of Palm Development Partners, LLC on behalf of Donna Perry of East Shore J/V for the approval of a Site Plan for a *Medical Office Building* on a 1.4384-acre parcel of land identified as Lot 27, Block A, The Standard-Rockwall Addition, City of Rockwall, Rockwall County, Texas, zoned Planned Development District 68 (PD-68) for Commercial (C) District land uses, situated within the SH-205 Overlay (SH-205 OV) District, addressed as 1301 S. Goliad Street [SH-205], and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on June 20, 1959 by *Ordinance No. 59-02 [Case No. A1959-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. Based on the City's *Historic Zoning Maps*, at some point between annexation and January 3, 1972 the subject property was rezoned to a Light Industrial (LI) District. This zoning designation was again changed to a Commercial (C) District at some point between December 7, 1993 and April 5, 2005. On August 21, 2006 the City Council approved Planned Development District 68 (PD-68) [*Ordinance No. 06-32; Z2006-013*] changing the zoning of the subject property to allow limited Commercial (C) District land uses. Following this approval, the City Council approved a *Master Plat [Case No. P2006-043]* and a *Preliminary Plat [Case No. P2006-044]* on October 16, 2006. These cases were followed by the approval of a *Final Plat [Case No. P2006-056]* on December 11, 2006, that designated the subject property as Lot 4, Block A, Eastshore Addition. On July 16, 2018, the City Council approved a *Final Plat [Case No. P2018-019]* that establish the subject property as Lot 27, Block A, The Standard-Rockwall Addition. On October 6, 2025, the City Council approved a PD Development Plan [*Case No. Z2025-055*] to allow the construction of a *Medical Office Building* on the subject property.

PURPOSE

On October 17, 2025, the applicant -- *Lisa Deaton of Palm Development Partners, LLC* -- submitted an application requesting the approval of a site plan for a *Medical Office Building* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is generally located on the east corner of the intersection of S. Goliad Street [SH-205] and Community Lane. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is the Standard of Rockwall an *Age Restricted Residential Subdivision* that was established on October 28, 2018 and consists of 47 single-family residential lots. This property is zoned Planned Development District 68 (PD-68) for limited Single Family 7 (SF-7) District land uses. Beyond this is a 1.844-acre parcel of land (*i.e. Lot 1, Block A, Herring Addition*) developed with a *Towing and Impound Yard* zoned Heavy Commercial (HC) District. Following this is a 13.368-acre parcel of land (*i.e. Lot 2, Block A, Rockwall Law Enforcement Center Addition*) developed with the Rockwall County Detention Center.

South: Directly south of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (*i.e. principal arterial, six [6] lane, divided roadway*) on the Master Thoroughfare Plan contained in the OURHometown Vision

2040 Comprehensive Plan. Beyond this roadway is a Cemetery owned by the City of Rockwall and zoned Cemetery (CEM) District.

East: Directly east of the subject property is an Age Restricted Apartment Complex (i.e. Evergreen Apartments) on a 6.579-acre parcel of land (i.e. Lot 3, Block A, Eastshore Addition), followed by two (2) vacant parcels of land (i.e. Lots 1 & 2, Block A, Eastshore Addition). Beyond this is a Mini-Warehouse facility (i.e. Advantage Self-Storage), which consists of 555 units on a 4.8164-acre parcel of land (i.e. Lot 2R-A, Block B, Lofland Industrial Park Addition) that is zoned Commercial (C) District. East of this is Justin Road, which is identified as a M4U (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is S. Goliad Street [SH-205], which is identified as a P6D (i.e. principal arterial, six [6] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. West of this roadway is a Cemetery owned by the City of Rockwall and zoned Cemetery (CEM) District.

MAP 1: LOCATION MAP
YELLOW: SUBJECT PROPERTY



DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), a *Medical Office Building* is permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, treescape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property located within Planned Development District 68 (PD-68), within a Commercial (C) District, and within an *Overlay District*. A summary of the density and dimensional requirements for the subject property are as follows:

Ordinance Provisions	Zoning District Standards	Conformance to the Standards
Minimum Lot Area	10,000 SF	X=1.438-acres; In Conformance
Minimum Lot frontage	60-Foot	X=219.44-feet; In Conformance

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Depth</i>	<i>100-Feet</i>	<i>X=323.69-feet; In Conformance</i>
<i>Minimum Front Yard Setback</i>	<i>25-Feet</i>	<i>X>25-feet; In Conformance</i>
<i>Minimum Rear Yard Setback</i>	<i>20-Feet</i>	<i>X>20-feet; In Conformance</i>
<i>Minimum Side Yard Setback</i>	<i>10-Feet</i>	<i>X>10-feet; In Conformance</i>
<i>Maximum Building Height</i>	<i>60-Feet</i>	<i>X=21.5-feet; In Conformance</i>
<i>Max Building/Lot Coverage</i>	<i>60%</i>	<i>X=16.49%; In Conformance</i>
<i>Minimum Number of Parking Spaces</i>	<i>1/200 SF = 52 spaces</i>	<i>X=54; In Conformance</i>
<i>Minimum Landscaping Percentage</i>	<i>20%</i>	<i>X>20%; In Conformance</i>
<i>Maximum Impervious Coverage</i>	<i>85-90%</i>	<i>X<85%; In Conformance</i>

TREESCAPE PLAN

Based on the treescape plan provided by the applicant, 36 Eastern Red Cedars that require mitigation will be removed from the property in order to develop the *Medical Office Building*. That being said, one (1) tree is in poor health due to disease, and does not require mitigation. According to Section 03, *Treescape Plan*, of Article 09, *Tree Preservation*, of the Unified Development Code (UDC), any Eastern Red Cedar over eight (8) feet in height that is removed from a property is required to be mitigated for with four (4) caliper inches of trees. In this case, 35 Eastern Red Cedars are required to be mitigated for require a total balance of 140-caliper inches (*i.e. 35 trees x 4-caliper inches = 140-caliper inches*). Based on the provided landscape plan, 42 canopy trees are being planted with this development, for a total of 210-caliper inches. This satisfies the entire mitigation balance.

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Medical Office Building* is defined as “(a) facility designed to support a range of healthcare services, including diagnostics, treatments, and administrative functions. These services encompass procedures requiring medical devices or the expertise of a qualified medical professional. Examples include but are not limited to medical doctor offices, physical therapy, massage therapy, chiropractic care, Botox treatments, and sonograms.” In this case the applicant is requesting a *Medical Office Building*, which conforms to the land use listed in Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 05.02(B), *Landscape Screening*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(a)ny non-residential or multi-family land use or parking area that has a side or rear contiguous to any residentially zoned or used property shall be screened with a masonry fence a minimum of six (6) feet in height with canopy trees planted on 20-foot centers...” In addition, as an alternative, the Planning and Zoning Commission may approve alternative screening methods that incorporate three (3) tiered landscape screening. In this case, the subject property has residential adjacency at the rear or northeast property line. Given this, the applicant has provided a 20-foot landscape buffer that incorporates three (3) tiered landscaping. The Planning and Zoning Commission is tasked with determining whether the proposed screening method of the *Medical Office Building* from the residents to the north is appropriate. Staff should note that this screening method is not an uncommon request in non-residential developments due to the difficulty of maintaining a masonry wall in the clay soils present.

The proposed site plan generally conforms to the standards of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), with the exception of the variances being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As previously stated, the applicant’s request appears to generally conform to the requirements of the Unified Development Code (UDC); however, staff has identified the following variance and exception associated with the applicant’s request:

- (1) Articulation. According to Subsection 06.02, *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a)ll buildings shall be architecturally finished on all four (4) sides utilizing the same materials, detailing, articulation and features.” In this case, the proposed buildings do not meet the

primary articulation wall length requirements on three (3) sides of the proposed building. This will require a variance from the Planning and Zoning Commission.

- (2) Landscape Buffer. According to Subsection 05.01(C), *Landscape Buffers*, of Article 08, *Landscape and Fence Standards*, of the Unified Development Code (UDC), “(b)uildings and paving (e.g. *parking lots*) shall not be permitted within any required landscape buffer; however, sidewalks and trails shall be permitted.” In this case, there are four (4) parking spaces that encroach into the landscape buffer along N. Goliad Street [SH-205]. This will require an exception from the Planning and Zoning Commission.

According to Subsection 09, *Exceptions and Variances*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant variances and exceptions to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code (UDC) would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested variances and exceptions. In this case, the applicant is providing the following compensatory measures: [1] 100% stone and brick exterior materials, [2] seven (7) gallon shrubs in lieu of five (5) gallon shrubs, [3] five (5) inch caliper canopy trees in lieu of four (4) inch caliper trees, and [4] five (5) foot accent trees in lieu of four (4) foot accent trees. Requests for exceptions and variances to the Unified Development Code (UDC) are discretionary decisions for the Planning and Zoning Commission, that require a supermajority vote (e.g. *six [6] out of the seven [7] commissioners*) -- *with a minimum of four (4) votes in the affirmative* -- for the approval of a variance or exception.

CONFORMANCE WITH OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the Future Land Use Plan contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the Central District and is designated for Commercial/Retail land uses. According to the *District Strategies* this land use designation should “... support the existing and proposed residential developments and should be compatible in scale with the adjacent residential structures.” In this case, the applicant is proposing an ~10,331 SF *Medical Office Building*. Based on this, the applicant’s land use appears to conform with the Comprehensive Plan. In addition, Chapter 09, *Non-Residential*, of the OURHometown Vision 2040 Comprehensive Plan states as one (1) of the architectural policies the community should “... incorporate high quality materials that will minimize the need for maintenance over time...” and “(n)on-residential buildings should be constructed of masonry materials and contain a minimum of 20% stone on every façade that faces a street, public open space, trail or park.” In this case, the applicant’s request appears to conform with the goals and policies for non-residential buildings contained in the Comprehensive Plan; however, this will be a discretionary decision for the Planning and Zoning Commission concerning the applicant’s request for an exception to the articulation requirements.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

On October 28, 2025, the Architectural Review Board (ARB) reviewed the applicant’s proposed building elevations. Based on the proposed building elevations the ARB requested that the applicant (1) better meet the material standards for the Overlay District, (2) increase the articulation on each side of the building, and (3) provide four (4) sided architecture. The applicant has made changes to the proposed building elevations in order to address the ARB recommendations, which will be reviewed on January 13, 2026.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to approve the applicant’s Site Plan for a *Medical Office Building* on the subject property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) A photometric plan conforming to the requirements of the Unified Development Code (UDC) must be approved by staff before the acceptance of civil engineering plans; and,

- (3) Any construction resulting from the approval of this Site Plan shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. Z2025-055

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1301 S. Goliad St, Rockwall, TX

SUBDIVISION The Standard - Rockwall Addition

LOT 27

BLOCK A

GENERAL LOCATION Located on the corner of S Goliad and Community Ln

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING PD-68, SH-205 Overlay

CURRENT USE None, Vacant lot

PROPOSED ZONING PD-68, SH-205 Overlay

PROPOSED USE Business (Medical Office Bldg)

ACREAGE 1.4384

LOTS [CURRENT] One (1)

LOTS [PROPOSED] One (1)

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER East Shore J/V

☒ APPLICANT Palm Development Partners, LLC

CONTACT PERSON Donna Perry, Venture Manager

CONTACT PERSON Lisa Deaton, Chief Operations Officer

ADDRESS

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Donna Perry, Venture Manager [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 278.77 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 17th DAY OF October, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.*

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 15 DAY OF October, 2025

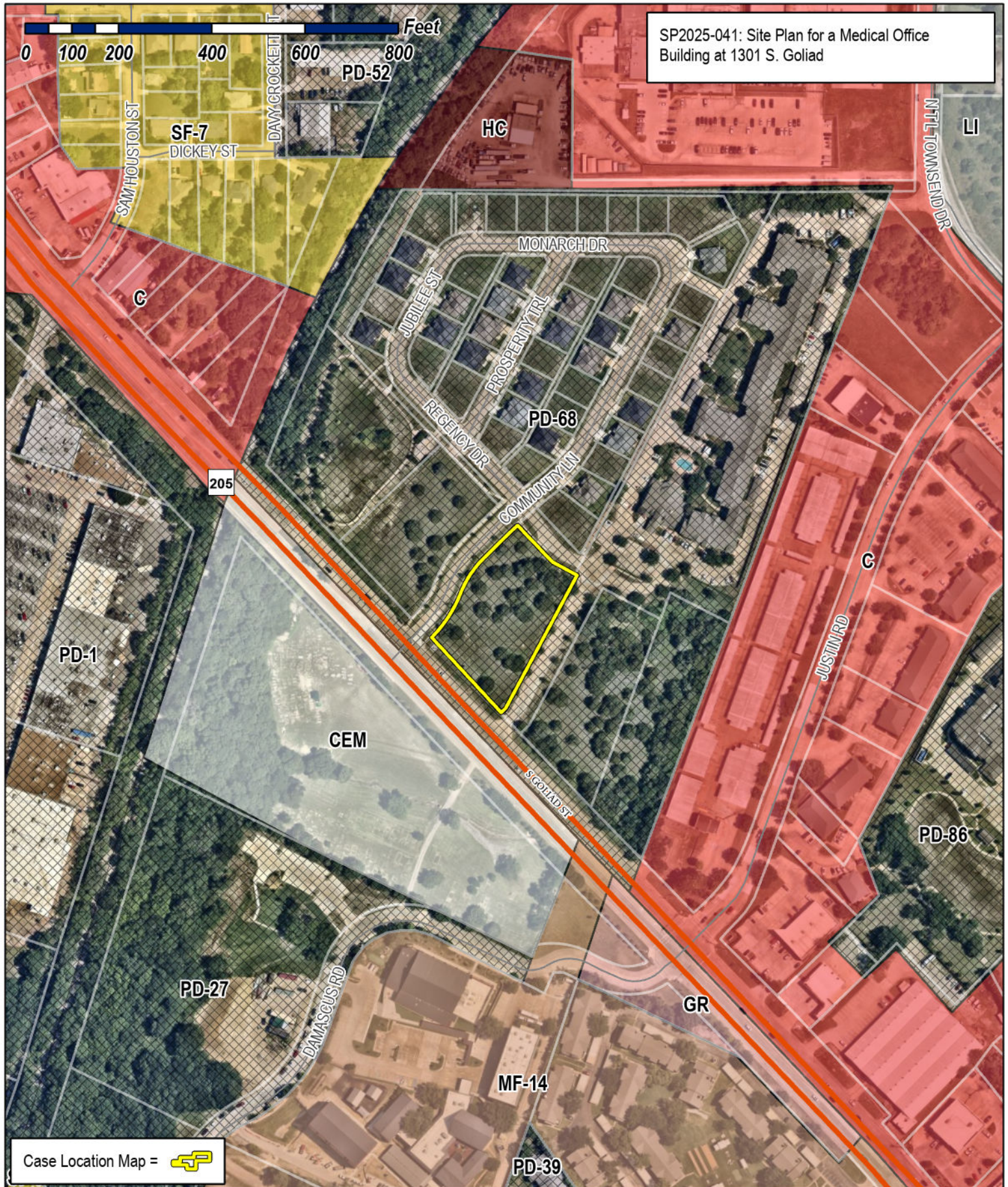
OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



ERICA OLSEN
Notary ID #134706923
My Commission Expires
January 9, 2028

MY COMMISSION EXPIRES



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.







TLM

ASSOCIATES

Architects + Engineers

REVISIONS

NO.	DATE	BY	DESCRIPTION

CONSULTANT

Preliminary
Not For Construction

TLM ASSOCIATES, INC.

ARCHITECTS + ENGINEERS

www.tlmae.com
117 East Lafayette Street Jackson, Tennessee
731.988.9840 (phone) - 731.988.9959 (fax)

RENDERING

MINDFUL HEALTH

ROCKWALL, TEXAS FACILITY

FOR

PALM DEVELOPMENT

1301 S. GOLIAD ST. ROCKWALL, TEXAS 75087

08 DEC 2025

Case No. SP2025-014

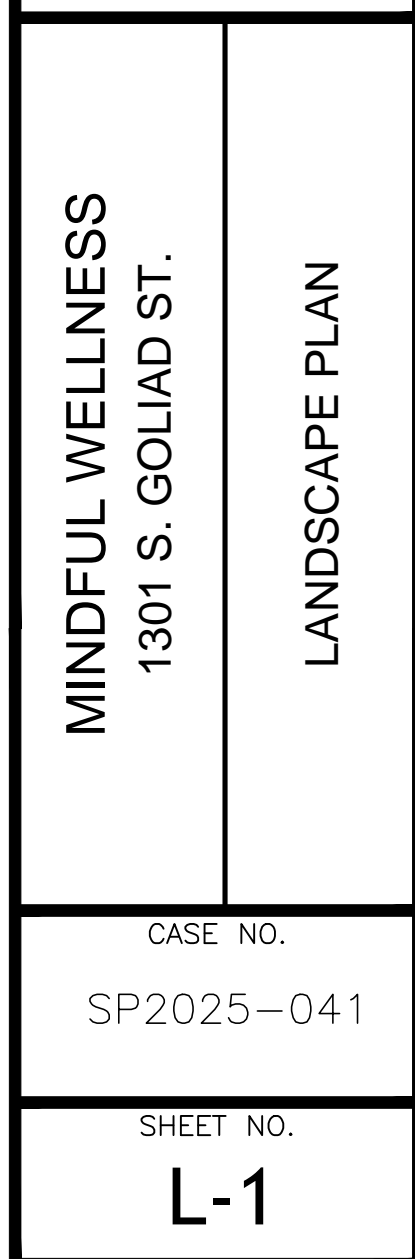
DP1

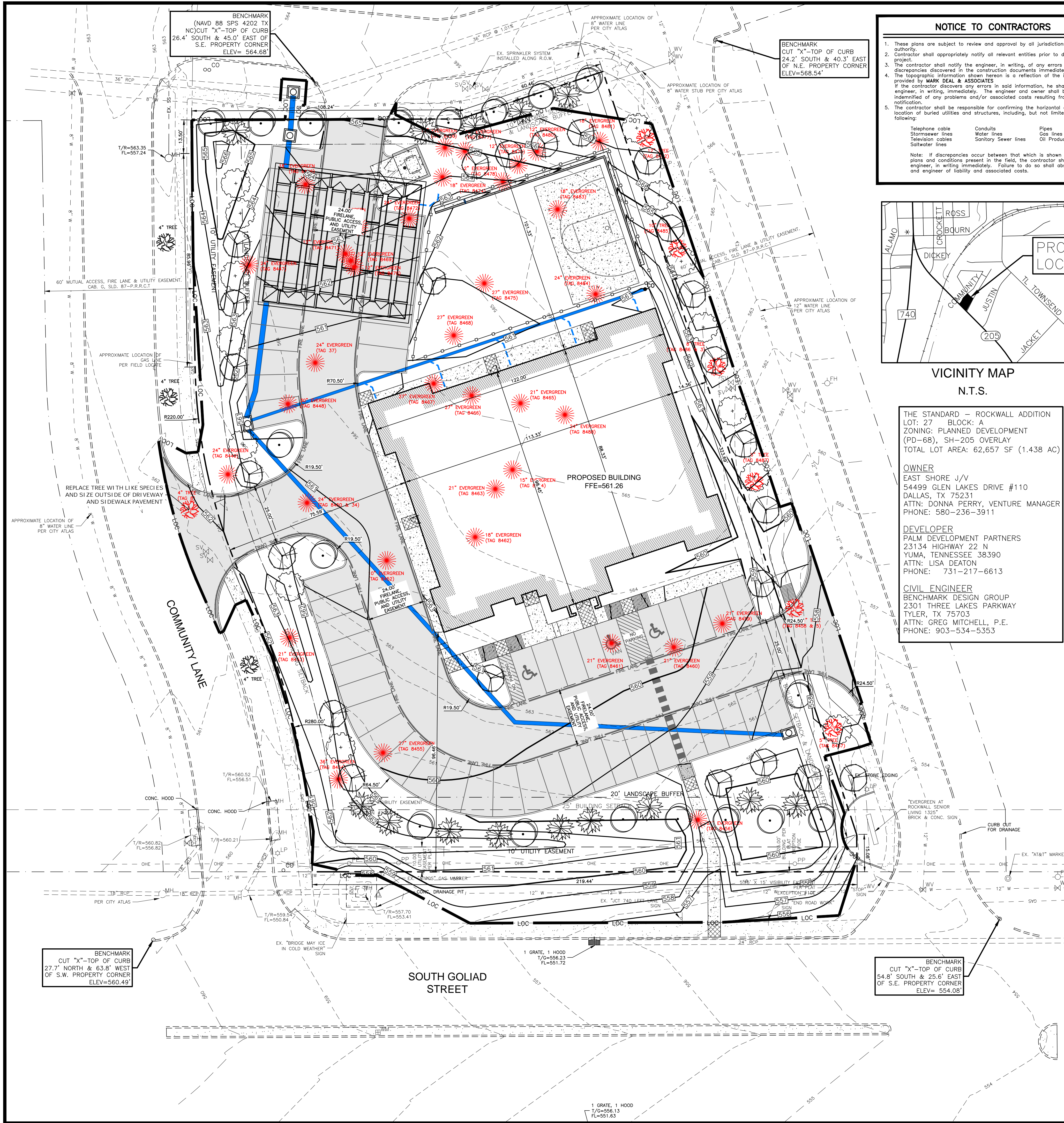
APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____.

WITNESS OUR HANDS, THIS ____ DAY OF _____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING





NOTICE TO CONTRACTORS

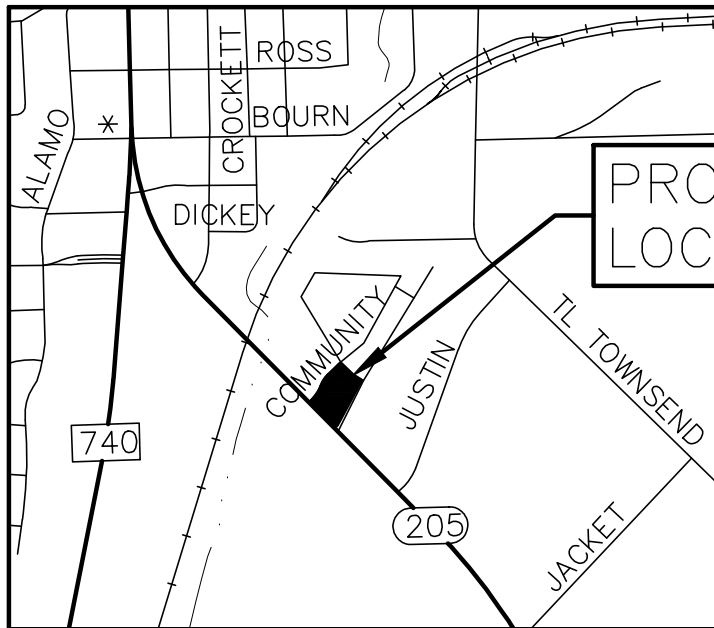
- These plans are subject to review and approval by all jurisdictions having authority.
- Contractor shall appropriately notify all relevant entities prior to digging on this project.
- The contractor shall notify the engineer, in writing, of any errors or discrepancies discovered in the construction documents immediately.
- The topographic information shown herein is a reflection of the information provided by MARK DEAL & ASSOCIATES. If the contractor discovers any errors in said information, he shall notify the engineer, in writing, immediately. The engineer and owner shall be indemnified of any problems and/or associated costs resulting from lack of notification.
- The contractor shall be responsible for confirming the horizontal and vertical location of buried utilities and structures, including, but not limited to the following:

Telephone cable Stormwater lines Television cables Saltwater lines
Conduits Water lines Sanitary Sewer lines
Pipes Gas lines Oil Production lines

Note: If discrepancies occur between that which is shown on the plans and conditions present in the field, the contractor shall notify the engineer, in writing immediately. Failure to do so shall absolve owner and engineer of liability and associated costs.

GRAPHIC SCALE

0 20 40 60 FEET



VICINITY MAP

N.T.S.

THE STANDARD - ROCKWALL ADDITION
LOT: 27 BLOCK: A
ZONING: PLANNED DEVELOPMENT
(PD-68), SH-205 OVERLAY
TOTAL LOT AREA: 62,657 SF (1.438 AC)

OWNER
EAST SHORE J/V
54499 GLEN LAKES DRIVE #110
DALLAS, TX 75231
ATTN: DONNA PERRY, VENTURE MANAGER
PHONE: 580-236-3911

DEVELOPER
PALM DEVELOPMENT PARTNERS
23134 HIGHWAY 22 N
YUMA, TENNESSEE 38390
ATTN: LISA DEATON
PHONE: 731-217-6613

CIVIL ENGINEER
BENCHMARK DESIGN GROUP
2301 THREE LAKES PARKWAY
TYLER, TX 75703
ATTN: GREG MITCHELL, P.E.
PHONE: 903-534-5353

SITE PLAN INFORMATION

TOTAL LOT AREA: 62,657 SF (1.438 AC)
BUILDING AREA: 10,331 SF

TEL PED	EXISTING TELEPHONE PEDESTAL
C.O.O	EXISTING CLEANOUT
WV	EXISTING WATER VALVE
WM	EXISTING WATER METER
MH	EXISTING SAN. SEWER MANHOLE
PP	EXISTING POWER POLE
FH	EXISTING FIRE HYDRANT
---	EXISTING OVERHEAD ELECTRIC LINE
---	EXISTING WATER LINE
---	EXISTING SAN. SEWER LINE
---	PROPERTY LINE
	EXISTING TREE TO BE REMOVED
	EXISTING TREE TO REMAIN

PROPOSED TREES					
QUANTITY	SYMBOL	CALLOUT	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
18		OAK	Texas Red Oak	Quercus Falcata	4" caliper
24		MAPLE	October Glory Maple	Acer rubrum 'october glory'	4" caliper
14		WILLOW	Desert Willow	Chilopsis linearis	4" minimum height
14		SUMAC	Flameleaf Sumac	Rhus lanceolata	4" minimum height



*** STOP! CALL BEFORE YOU DIG! ***
AS REQUIRED BY THE TEXAS UNDERGROUND FACILITY DAMAGE PREVENTION AND SAFETY ACT (TEXAS 811) MUST BE CONDUCTED AT LEAST 2 WORKING DAYS PRIOR TO ANY EXCAVATION OPERATIONS BEING PERFORMED. IT IS THE CONTRACTOR'S RESPONSIBILITY TO CONTACT TEXAS ONE CALL SYSTEM. THE CONTRACTOR SHALL ALSO CALL 811, AND ALL OTHER LOCATE COMPANIES PRIOR TO EXCAVATION ACTIVITIES.

TREE MITIGATION		
TREE MITIGATION (140" CALIPER/4" CALIPER)	REQUIRED	PROVIDED
	35 EA	35 EA

Tree Mitigation Table									
ITEM #	TAG#	SPECIES	HEIGHT	PROTECT OR REMOVE	TREE HEALTH (1-5)	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
1	37	Cedar	17	Remove	5	N	N	N	4"
2	8446	Cedar	15	Remove	5	N	N	N	4"
3	8447	Cedar	19	Remove	5	N	N	N	4"
4	8448	Cedar	27	Remove	5	N	N	N	4"
5	8449	Cedar	22	Remove	5	N	N	N	4"
6	8450	Cedar	23	Remove	5	N	N	N	4"
7	8452	Cedar	20	Remove	5	N	N	N	4"
8	8453	Cedar	17	Remove	5	N	N	N	4"
9	8454	Cedar	18	Remove	4	N	N	N	4"
10	8455	Cedar	19	Remove	5	N	N	N	4"
11	8456	Cedar	22	Remove	5	N	N	N	4"
12	8459	Cedar	22	Remove	5	N	N	N	4"
13	8460	Cedar	18	Remove	5	N	N	N	4"
14	8461	Cedar	17	Remove	5	N	N	N	4"
15	8462	Cedar	12	Remove	5	N	N	N	4"
16	8463	Cedar	20	Remove	4	N	N	N	4"
17	8464	Cedar	12	Remove	1	Y	Y	Y	0
18	8465	Cedar	14	Remove	5	N	N	N	4"
19	8466	Cedar	20	Remove	5	N	N	N	4"
20	8467	Cedar	21	Remove	5	N	N	N	4"
21	8468	Cedar	20	Remove	5	N	N	N	4"
22	8469	Cedar	22	Remove	5	N	N	N	4"
23	8470	Cedar	23	Remove	5	N	N	N	4"
24	8471	Cedar	24	Remove	5	N	N	N	4"
25	8472	Cedar	23	Remove	5	N	N	N	4"
26	8474	Cedar	15	Remove	5	N	N	N	4"
27	8475	Cedar	14	Remove	5	N	N	N	4"
28	8476	Cedar	18	Remove	5	N	N	N	4"
29	8477	Cedar	22	Remove	5	N	N	N	4"
30	8478	Cedar	26	Remove	5	N	N	N	4"
31	8479	Cedar	25	Remove	5	N	N	N	4"
32	8480	Cedar	19	Remove	5	N	N	N	4"
33	8481	Cedar	12	Remove	5	N	N	N	4"
34	8483	Cedar	14	Remove	5	N	N	N	4"
35	8484	Cedar	21	Remove	5	N	N	N	4"
36	8488	Cedar	17	Remove	5	N	N	N	4"
Total:									140"

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ DAY OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING AND ZONING

BENCHMARK
DESIGN GROUP
CIVIL / ENVIRONMENTAL / PLANNERS



BENCHMARK
DESIGN GROUP

DRAWN BY: CCB

CHECKED BY: JGM

DATE: JUNE 2025

JOB NO: 2025.036

MINDFUL WELLNESS
1301 S. GOLIAD ST.

TREESCAPE PLAN

CASE NO.

SP2025-041

SHEET NO.

L-3

LIGHTING SCHEDULE					
TAG	DESCRIPTION	MANUFACTURER	MODEL NO.	LAMPS	NOTES
S1	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R4' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K R4 MVOLT SPA RSX2EGS	LED	EXTERNAL GLARE SHIELD
S2	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R4' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K R4 MVOLT SPA	LED	
S3	LED SITE LIGHT WITH TYPE DISTRIBUTION 'AFR' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (71 W)	LITHONIA	RSX2 LED 40K AFR MVOLT SPA	LED	
S4	LED SITE LIGHT WITH TYPE DISTRIBUTION 'R5' MOUNTED ON 25' STRAIGHT SQUARE STEEL POLE (111 W)	LITHONIA	RSX2 LED 40K R5 MVOLT SPA RSX2EGFV	LED	EXTRA GLARE FULL VISOR
W1	EXTERIOR WALL SCNCE (100 W)	QUOIZEL	WAE8408MBK	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT
W2	EXTERIOR WALL DOWNLIGHT (15 W)	MINKA-LAVERY	71169-143C-L	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT
W3	LED WALL LIGHT (24 W)	LITHONIA	WPX1 P2 LED 40K MVOLT	LED	MOUNTED ~ 10' A.F.F. PER ARCHITECT



FIXTURE: S1, S2, S3, S4



FIXTURE: W1

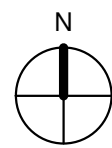
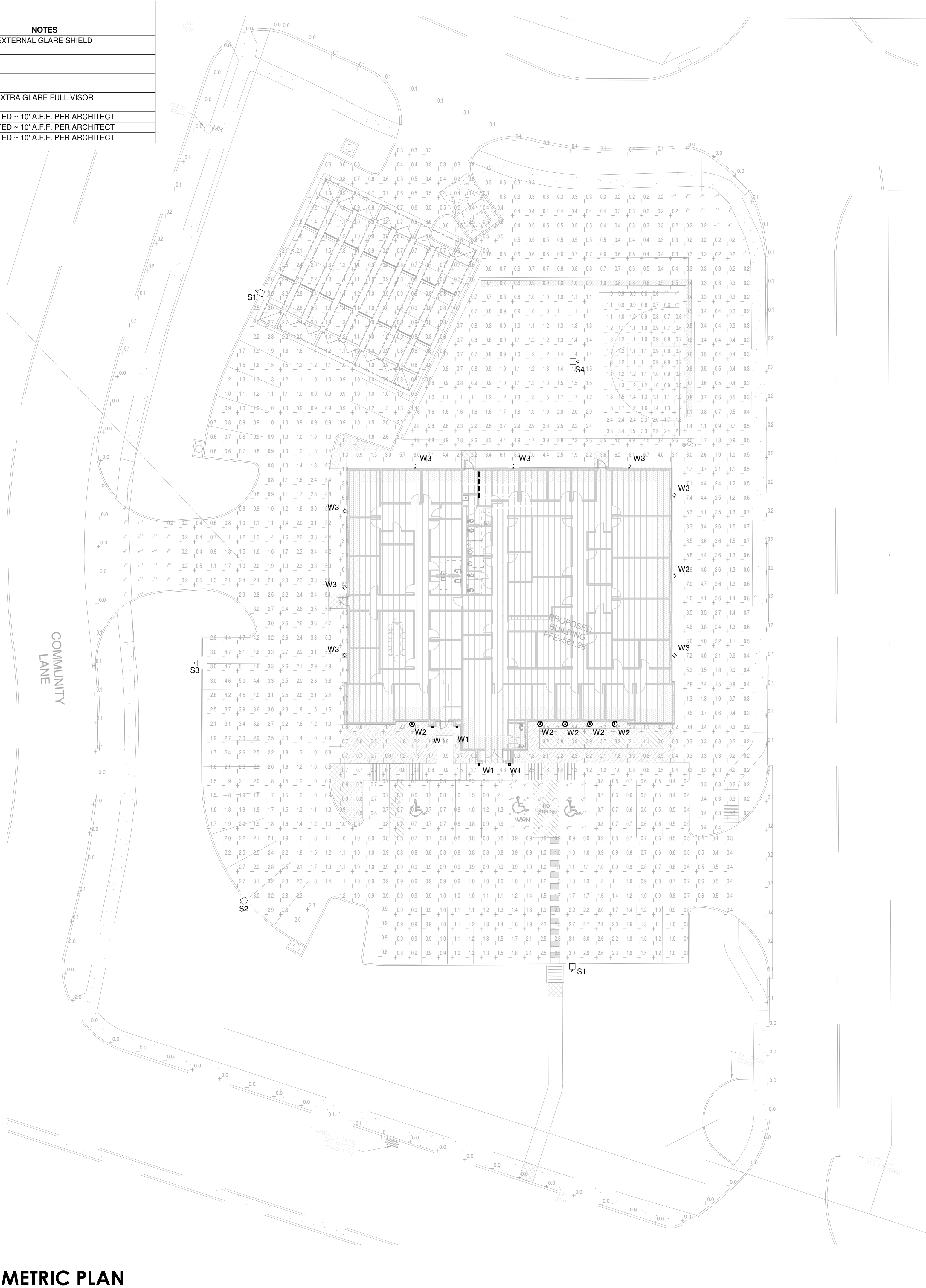


FIXTURE: W2



FIXTURE: W3

PHOTOMETRIC CALCULATIONS		
	ADA PARKING	
Average	1.1	fc
Maximum	3.2	fc
Minimum	0.7	fc
Max/Min	4.6:1	
Average/Min	1.6:1	
	BASKETBALL COURT	
Average	1.3	fc
Maximum	3.5	fc
Minimum	0.5	fc
Max/Min	7.0:1	
Average/Min	2.6:1	
	EXT BUILDING	
Average	1.5	fc
Maximum	8.3	fc
Minimum	0.1	fc
Max/Min	83.0:1	
Average/Min	15.0:1	
	Parking Lot	
Average	1.4	fc
Maximum	5.4	fc
Minimum	0.1	fc
Max/Min	54.0:1	
Average/Min	14.0:1	
	PROPERTY LINE	
Average	0.1	fc
Maximum	0.2	fc
Minimum	0.0	fc
Max/Min	N/A	
Average/Min	N/A	



1
E0.1

SITE PHOTOMETRIC PLAN

SCALE: 1" = 20'-0"

REVISIONS

NO.	DATE	BY	DESCRIPTION

CONSULTANT

COLLIER DWYER COLLIER ARCHITECTS 1117 EAST LAFAYETTE STREET JACKSON, TENNESSEE 39201 WWW.COLLIERARCHITECTS.COM CE PROJECT NO. 25-098

Preliminary
Not For Construction

SITE PHOTOMETRIC PLAN

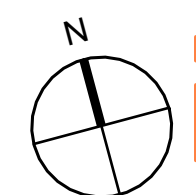
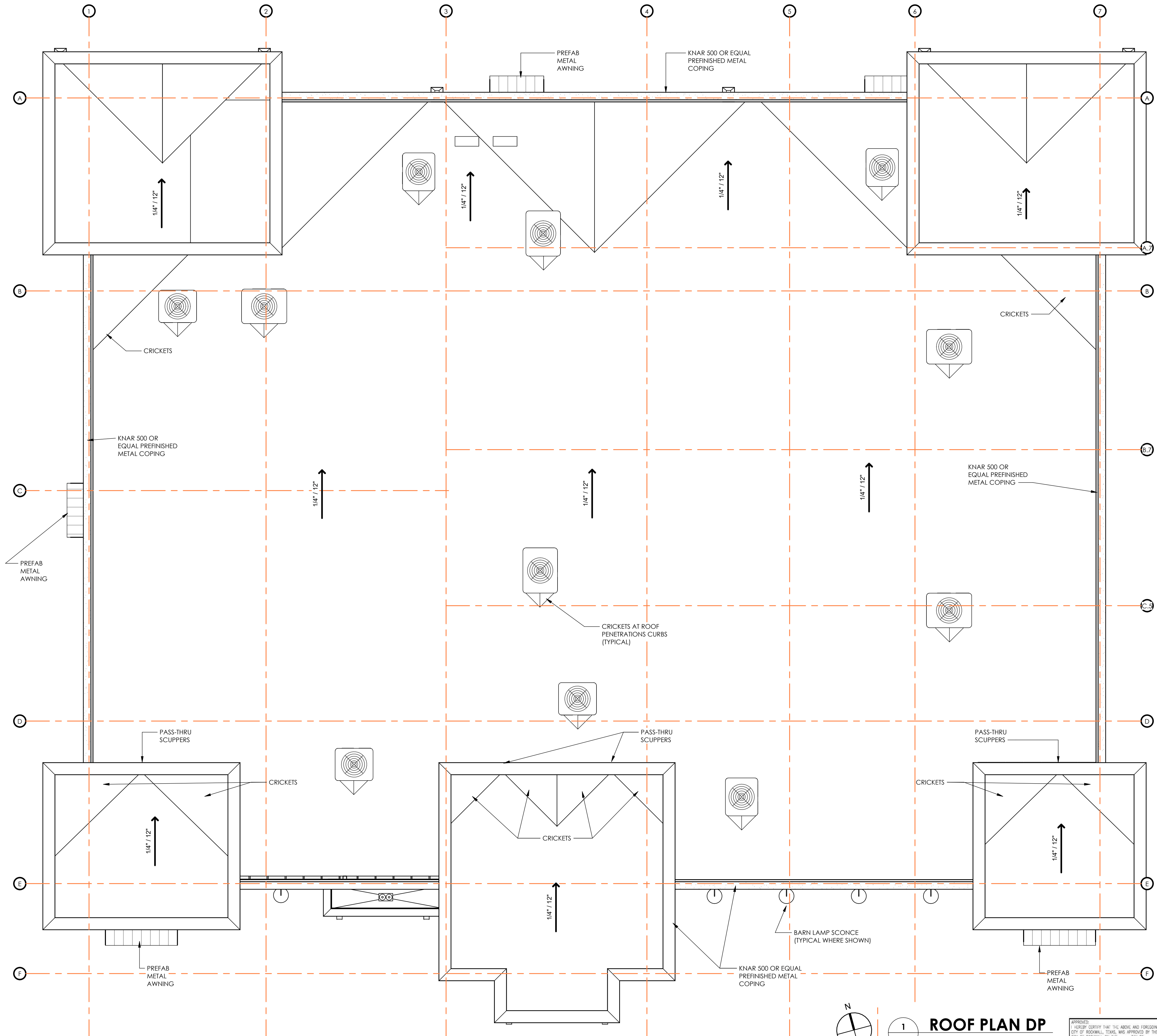
MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY

FOR
PALM DEVELOPMENT
1301 S. GOLIAD ST., ROCKWALL, TEXAS 75087

15 OCT 2025

T0105

E0.1



1
DP3

ROOF PLAN DP
SCALE: 3/16" = 1'-0"

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FOREGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, HAS BEEN APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL, TEXAS, ON THE ____ DAY OF ____
WITNESS OUR HANDS, THIS ____ DAY OF ____
PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING AND ZONING

TLM
ASSOCIATES
Architects + Engineers

REVISIONS			
NO.	DATE	BY	DESCRIPTION

CONSULTANT

Preliminary
Not For Construction

TLM ASSOCIATES, INC.
ARCHITECTS + ENGINEERS

www.tlmae.com
117 East Lafayette Street - Jackson, Tennessee
731.988.9840 (phone) - 731.988.9959 (fax)

ROOF PLAN

MINDFUL HEALTH
ROCKWALL, TEXAS FACILITY
FOR
PALM DEVELOPMENT
1301 S. GOLIAD ST., ROCKWALL, TEXAS 75087

08 DEC 2025

Case No. SP2025-014

DP3



December 11, 2025

City of Rockwall
Planning and Zoning Division
Attn: Ryan Miller, AICP, Director
385 S. Goliad Street
Rockwall, TX 75087

Re: Request for Variances – Case No. SP2025-041
Medical Office Building
1301 S. Goliad Street, Rockwall, TX

Dear Mr. Miller,

Palm Development Partners would like to request variances to the following architectural requirements. These requests are all related and the reasoning for such request has been provided.

1. Slight Overlay of Parking into the Landscape Setback, Southwest corner.

We are requesting a variance where 4 parking spaces cross slightly into the landscaping setback. Due to the size of our building, setback requirements, and the turn radius needed in the fire lane, we are not able to get these spots behind the setback line.

2. M.11 Building Elevations, Comments 8b & 8d: *The four (4) sided architecture requires the primary articulation standards to be used on each side of the building. Please see the areas of non-conformance below. Please correct this or this will be a Variance request. (Subsection 06.02, of Article 05, UDC)*
 - b. Wall Length: maximum permitted = 51'6" (non-conforming on north, west, and east sides)

We are requesting a variance for 8b to allow for wall lengths that exceed the 51'6" minimum. We have proposed 57' on the east and west sides and 70' on the north (rear) side. Due to the weight of the stone, we would need to modify the structural design of the building to be able to carry the weight of the stone where it cannot be loaded on a wall below in the interior of the building. The projections must be designed to coordinate with the interior wall layout. The north façade will also be partially concealed by a tall fence and dense landscaping that shields it from the residential area behind.

Proposed Compensatory Measures:

1. Omitted all Stucco from the building and opted for full masonry construction – using all brick and natural stone materials.
2. Increased the gallon of all shrubs from 5 to 7.
3. Increased the caliper of the canopy trees from 4 to 5.
4. Increased the height of the accent trees from 4' to 5'.

Should you have any questions regarding these requests, please do not hesitate to reach out to me at 731-217-6613. We are excited about our project in Rockwall and look forward to starting construction here as soon as possible.

Respectfully submitted,

Lisa Deaton, COO
Palm Development Partners, LLC

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: SP2025-042
PROJECT NAME: Site Plan for 2200 Ridge Road
SITE ADDRESS/LOCATIONS: 2200 Ridge Road

CASE CAPTION: Discuss and consider a request by Henry Nguyen of Henry Nguyen Consulting, LLC on behalf of Lien Nguyen of Beauty Legacy, LLC for the approval of a Site Plan for a Strip Retail Center on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740], and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Henry Lee	12/19/2025	Needs Review

12/19/2025: Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of a Site Plan for a Strip Retail Center on a 0.976-acre parcel of land identified as Lot 8, Block A, Sky Ridge Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) District, addressed as 2200 Ridge Road [FM-740].
- I.2 For questions or comments concerning this case please contact Henry Lee in the Planning Department at (972) 772-6434 or email hlee@rockwall.com.
- M.3 For reference, include the case number (SP2025-042) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- I.4 The subject property will be required to be plat in order to any new establish easements or new lot lines.
- M.5 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. Also remove the red placeholder text from the signature block. (Subsection 03.04. A, of Article 11)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.6 Please provide a material sample board before the January 13, 2026 Architecture Review Board meeting. (Subsection 03.04. B, of Article 11, UDC)

M.7 Site Plan.
(1) Please provide a numeric scale. (Subsection 03.04. B, of Article 11, UDC)

- (2) Please indicate the perimeter dimensions of the building. (Subsection 03.04. B, of Article 11, UDC)
- (3) Please delineate and label the 15-foot building setback along Ridge Road. (Subsection 03.04. B, of Article 11, UDC)
- (4) Please label the fire lane as Fire Lane, Public Access, and Utility Easement. (Subsection 03.04. B, of Article 11, UDC)
- (5) Please delineate and label the centerline for Ridge Road. (Subsection 03.04. B, of Article 11, UDC)
- (6) All parking spaces must be 20-feet by 9-feet. In addition, the parking spaces along Ridge Road appear to be encroaching into the fire lane. (Subsection 03.04. B, of Article 11, UDC)
- (7) Please update the parking table, as 36 parking spaces are required. (Subsection 03.04. B, of Article 11, UDC)
- (8) Please indicate the type and depth of all paving material. (Subsection 03.04. B, of Article 11, UDC)
- (9) Please note that all signage is handled through a separate building permit. (Subsection 03.04. B, of Article 11, UDC)
- (10) Please indicate any existing or proposed fencing. Please delineate the location and provide the material and height. (Subsection 08.02. F, of Article 08, UDC)
- (11) All roof mounted equipment must be crosshatched on the building elevations. This equipment must be fully screened and not be visible from any direction. Please be cognizant that the subject property is at a low point and will have high visibility from the adjacent roadways. (Subsection 01.05.C, of Article 05, UDC)
- (12) All pad mounted equipment must be shown on the site plan. This equipment must be screened with five (5) gallon evergreen shrubs, which should be shown on the landscape plan. (Subsection 01.05.C, of Article 05, UDC)
- (13) Please provide a note that there shall no above ground storage tanks or outside storage, which includes vehicles. (Subsection 01.05. B, of Article 05, UDC)
- (14) Please provide a detail of the dumpster enclosure. In addition, the dumpster enclosure must be a minimum of eight (8) feet in height and use the same materials as the building. (Subsection 01.05. B, of Article 05, UDC)

M.8 Landscape Plan.

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Please note that the UDC requires accent trees to be a minimum of 4-feet in height at the time of planting, not be 4-inch caliper. (Subsection 05.03.B, of Article 08, UDC)
- (3) Please delineate and label the landscape buffer along Ridge Road. (Subsection 05.01, of Article 08, UDC)
- (4) Per the General Overlay District Standards, there must be a row of canopy trees at the rear of the subject property. (Subsection 06.02, of Article 05, UDC)
- (5) Please provide a row of 5-gallon evergreen shrubs in front of the parking spaces that face onto Ridge Road and face northeast. (Subsection 05.03, of Article 08, UDC)
- (6) Per MIS2021-001, the landscape buffer along Ridge Road must incorporate 13 canopy trees and 21 accent trees. Please update the landscape plan to reflect this. (MIS2021-001)
- (7) Please provide a note that the irrigation will meet the requirements of the UDC. (Subsection 05.04, of Article 08, UDC)

M.9 Photometric Plan

- (1) Provide the same site data information required in Section 2.1 Site Plan: Miscellaneous and Density and Dimensional Requirements of this checklist. (See Sec. 2.1 of the checklist)
- (2) Light levels shall not be greater than 0.2 FC at all property lines. Please correct the photometric plan to address this requirement. (Subsection 03.03, of Article 07, UDC)
- (3) Please provide the cut sheets for all of the proposed light fixtures. (Subsection 03.03, of Article 07, UDC)

M.10 Building Elevations

- (1) Please remove the glass/glazing from the material percentages. (Subsection 04.01, of Article 05, UDC)
- (2) The building materials must match the materials on the adjacent buildings (i.e. Qdoba, Einstein Bagels, and Dutch Bros). The stone is Alamo Stone, Ledgestone Collection, Windsor Pewter Ledge. The brick is Thin Brick, Pacific Clay Products, Desert Gray. (Subsection 04.01, of Article 05, UDC)
- (3) Each façade of the building must incorporate 20% natural or quarried stone. (Subsection 06.02, of Article 05, UDC)
- (4) Please correct the callout for veneer as it is currently spelled vaneer. (Subsection 04.01, of Article 05, UDC)
- (5) Please indicate the roof line on the building elevations. Staff must confirm that the parapet continues around the entire building. Please indicate that the back side of the parapets must be finished with the same material as the exterior facing façade. (Subsection 02.01, of Article 05, UDC)
- (6) Please crosshatch the RTUs on the elevations. The RTUs must be fully screened by the parapet. Please pay attention to this due the building being lower than the road. (Subsection 01.05.C, of Article 05, UDC)
- (7) The proposed building does not meet the four (4) sided architecture requirements. This requires the same “materials, detailing, articulation and features” on each façade. In this case the primary articulation requirements must be met on each side of the buildings, and the same architectural detail and features must be provided on each side of the buildings. (Subsection 06.02, of Article 05, UDC)

- (8) Please indicate the architectural elements on the building. Each building is required to incorporate four (4) architectural elements. (Subsection 06.02, of Article 05, UDC)
- (9) The subject property is located within the Scenic Overlay District and is required to provide primary articulation on each façade. In this case, the proposed building elevations do not meet any of the primary articulation standards. (Subsection 04.01, of Article 05, UDC)

M.11 At this time, based on the materials submitted, staff has identified several changes to the site, landscape, photometric, and building design that require changes. Any required changes that are not made will be an exception/variance. These exceptions/variances must be approved by the Planning and Zoning Commission.

M.12 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measures (above and beyond the requirements of the UDC) for each exception or variance is required. In order to request an exception or variance, the applicant will need to provide a letter outlining the requested exceptions and required compensatory measures. For every requested exception or variance, two (2) compensatory measures must be provided.

I.13 Please note that failure to address all comments provided by staff by 3:00 PM on January 6, 2026 will result in the automatic denial of the case on the grounds of an incomplete submittal. No refund will be given for cases that are denied due to an incomplete submittal, and a new application and fee will be required to resubmit the case.

I.14 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/work session meeting will be held on January 13, 2026.

I.15 All meetings will be held in person and in the City’s Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved w/ Comments

- 12/18/2025: 1. Retaining wall lot allowed within easements and on top of utilities.
2. Water main loop must be completed. Must have 10' separation from sewer and have a minimum of 10' water easement on both sides of the water pipe.
3. Retaining wall lot allowed within easements.
4. Dimension parking 20'x9'
5. Show ex. 8" water line
6. No trees within 5'; of utilities.
7. Remove

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements.
- No structures including walls and overhangs allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground.
- The property must be platted.
- Additional comments may be provided at time of Site Plan and Engineering.

Roadway Paving Items:

- All parking, storage, drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
- No gravel or asphalt allowed in any area.

- All Parking to be 20'x9' minimum.
- Parking may not be off a public Roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround. 15'x64' striped no parking.
- Drive isles to be 24' wide.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane to be in a platted easement.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- All commercial sewer connections must be made by a proposed or existing manhole.
- Min 20' utility easements. No structures allowed in easements
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- There is an existing 8" water main on site available for use.
- There is an existing 8" sewer main on site available for use.

Drainage/Floodplain/Lakes:

- Detention has already been provided for this site.
- Existing flow patterns must be maintained. Cannot increase runoff in any direction.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.
- No grate inlets allowed
- Dumpsters must drain to an oil/water separator and then back into the storm drainage system.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved
No Comments			

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Needs Review

12/17/2025: Fire Lane

Show the location of existing and proposed fire lanes serving this property.

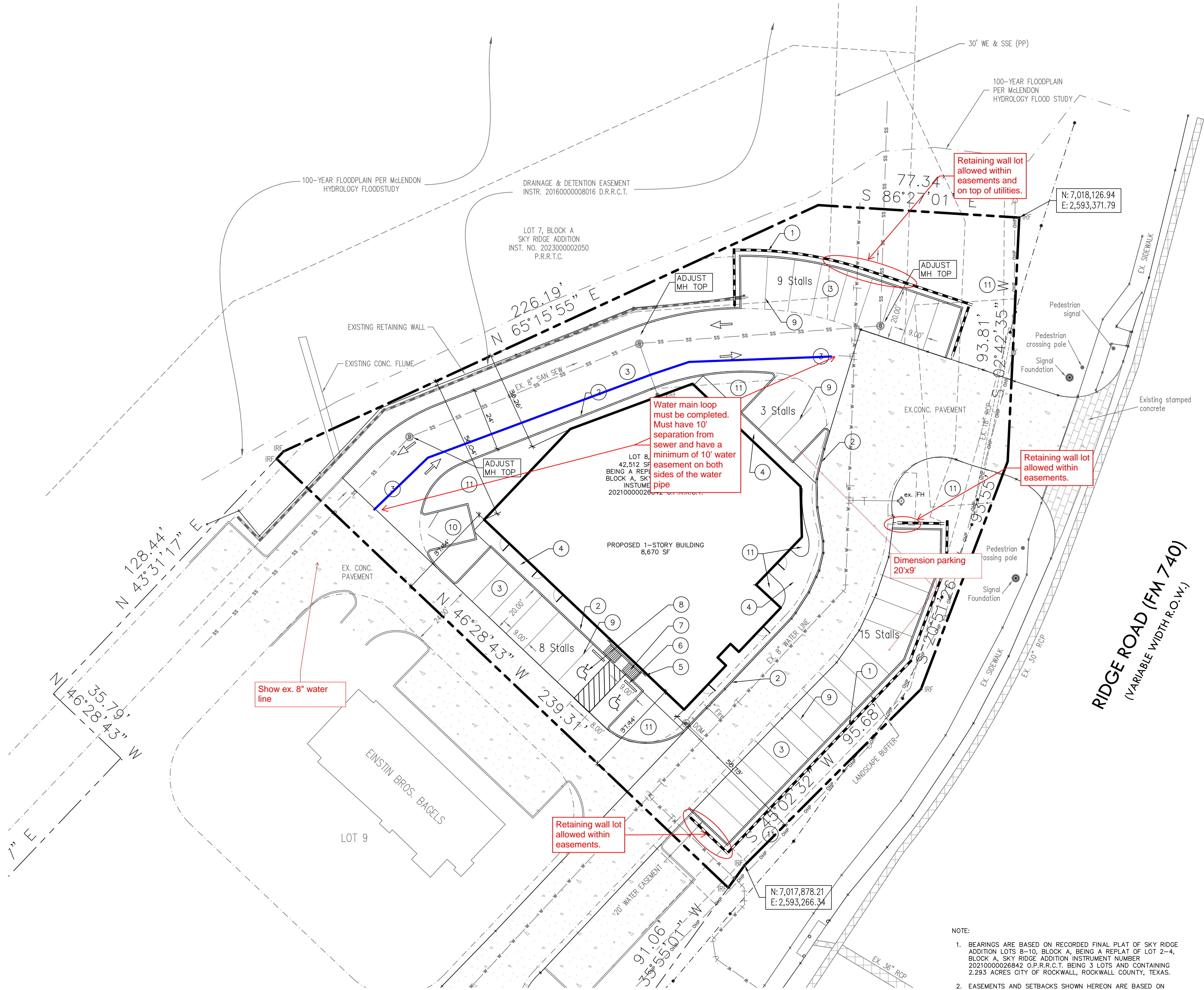
Fire department Connection (FDC)

- * FDC shall be facing and visible from the fire lane.
- * FDC must be within 100 feet of a fire hydrant and 50 feet of the fire lane.
- * The FDC shall be clear and unobstructed with a minimum of a 5-feet clear all-weather path from fire lane access

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/15/2025	Approved

12/15/2025: Future suite number should follow these standards: <https://www.rockwall.com/pz/GIS/AddressingStandards.pdf>

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved
No Comments			



- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements.
 - No structures including walls and overhangs allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
 - All utilities must be underground.
 - The property must be platted.
 - Additional comments may be provided at time of Site Plan and Engineering.

- Roadway Paving Items:**
- All parking, storage, drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
 - No gravel or asphalt allowed in any area.
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 - Min 20' utility easements. No structures allowed in easements
 - Water to be 10' separated from storm and sewer lines.
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 - There is an existing 8" water main on site available for use.
 - There is an existing 8" sewer main on site available for use.

- Drainage/Floodplain/Lakes:**
- Detention has already been provided for this site.
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 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

SITE DATA

LOT AREA	42,512 SF
BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C -COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

1. CONSTRUCT RETAINING WALL
2. CONSTRUCT MONOLITHIC CONCRETE CURB
3. INSTALL CONCRETE PAVEMENT
4. CONSTRUCT 4" THICK CONCRETE SIDEWALK
5. INSTALL HANDICAP SIGN
6. INSTALL PRECAST CONCRETE WHEELSTOPS
7. CONSTRUCT STANDARD ADA RAMP
8. PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
9. PAINT 4" SOLID STRIPE - WHITE
10. CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
11. LANDSCAPE AREA

LEGEND

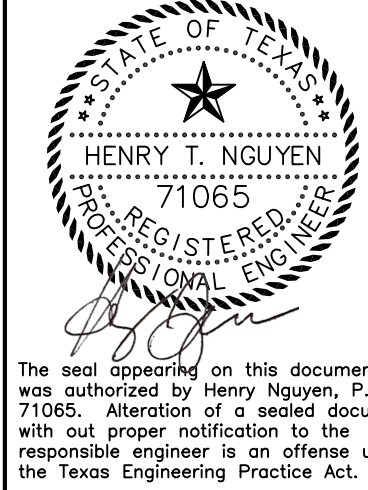
- EXISTING SIGNAL FOUNDATION
- EXISTING FIRE HYDRANT
- EXISTING SANITARY CLEANOUT
- EXISTING SANITARY SEWER MANHOLE
- EXISTING POWER POLE
- EXISTING OVERHEAD POWER LINE
- EXISTING WATER LINE
- EXISTING SANITARY SEWER LINE
- EXISTING CONCRETE PAVEMENT

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@awbell.net
Texas Registered Engineering Firm F-16239

REVISIONS	Approved
Date	Description

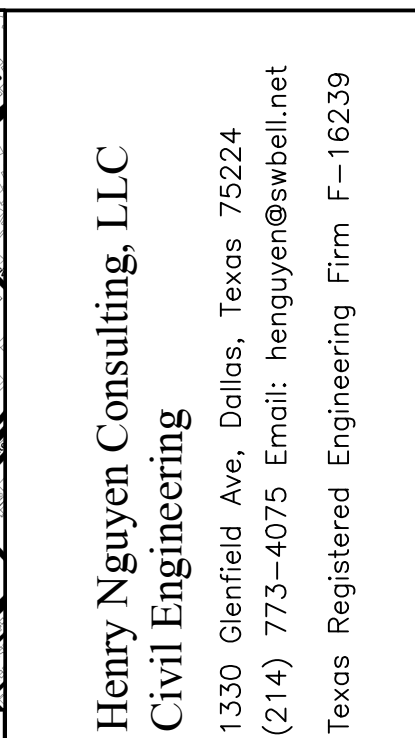
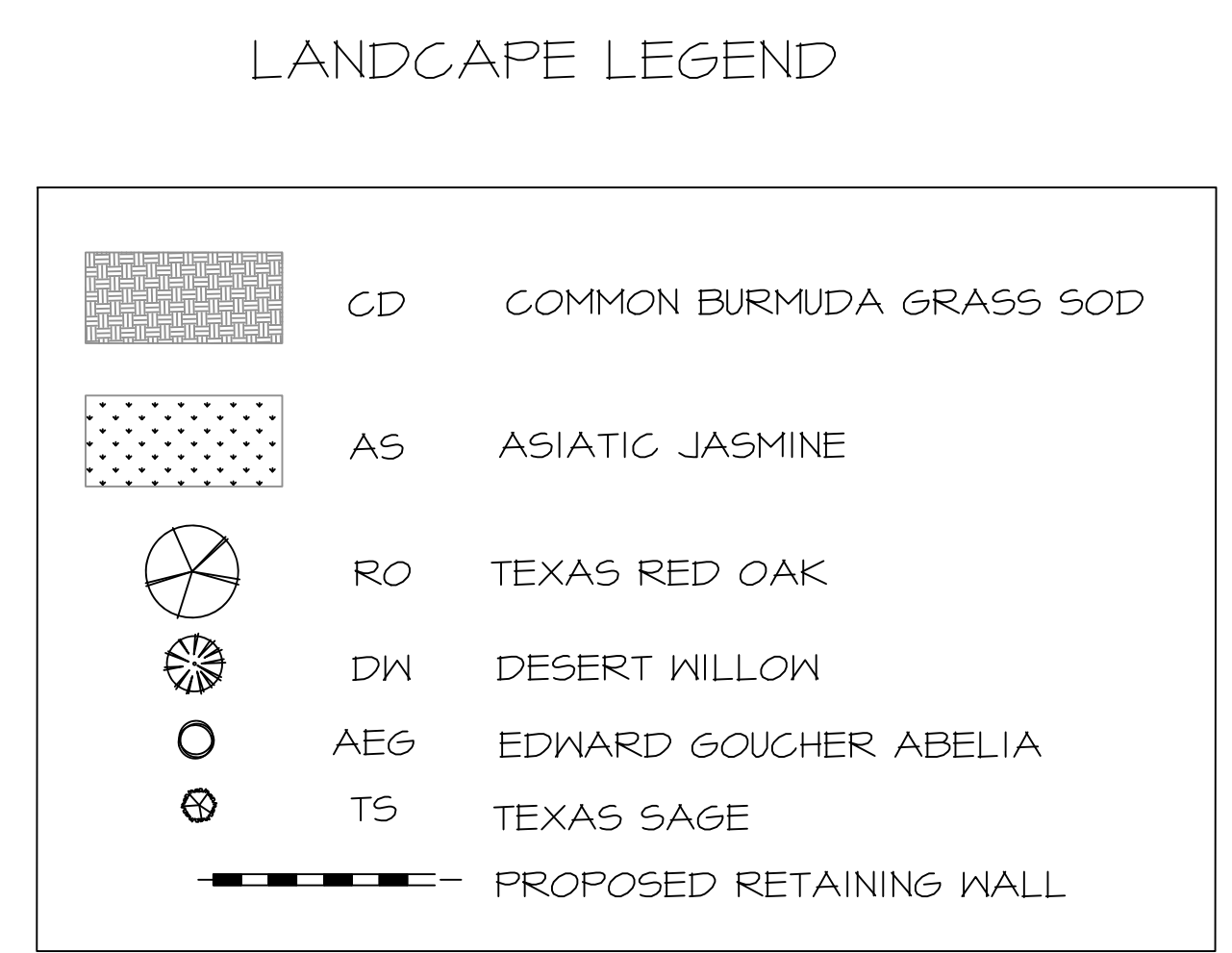
SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	09/10/2025
Job#:	25001



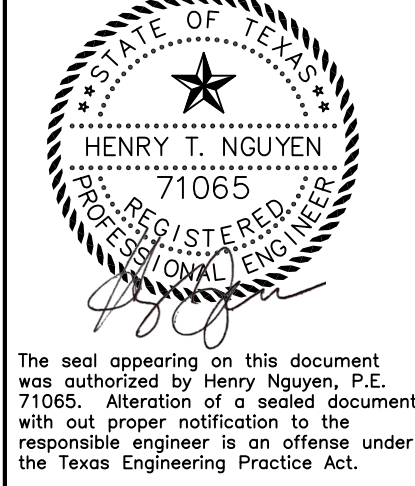
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SITE PLAN



SKYRIDGE RETAIL
BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

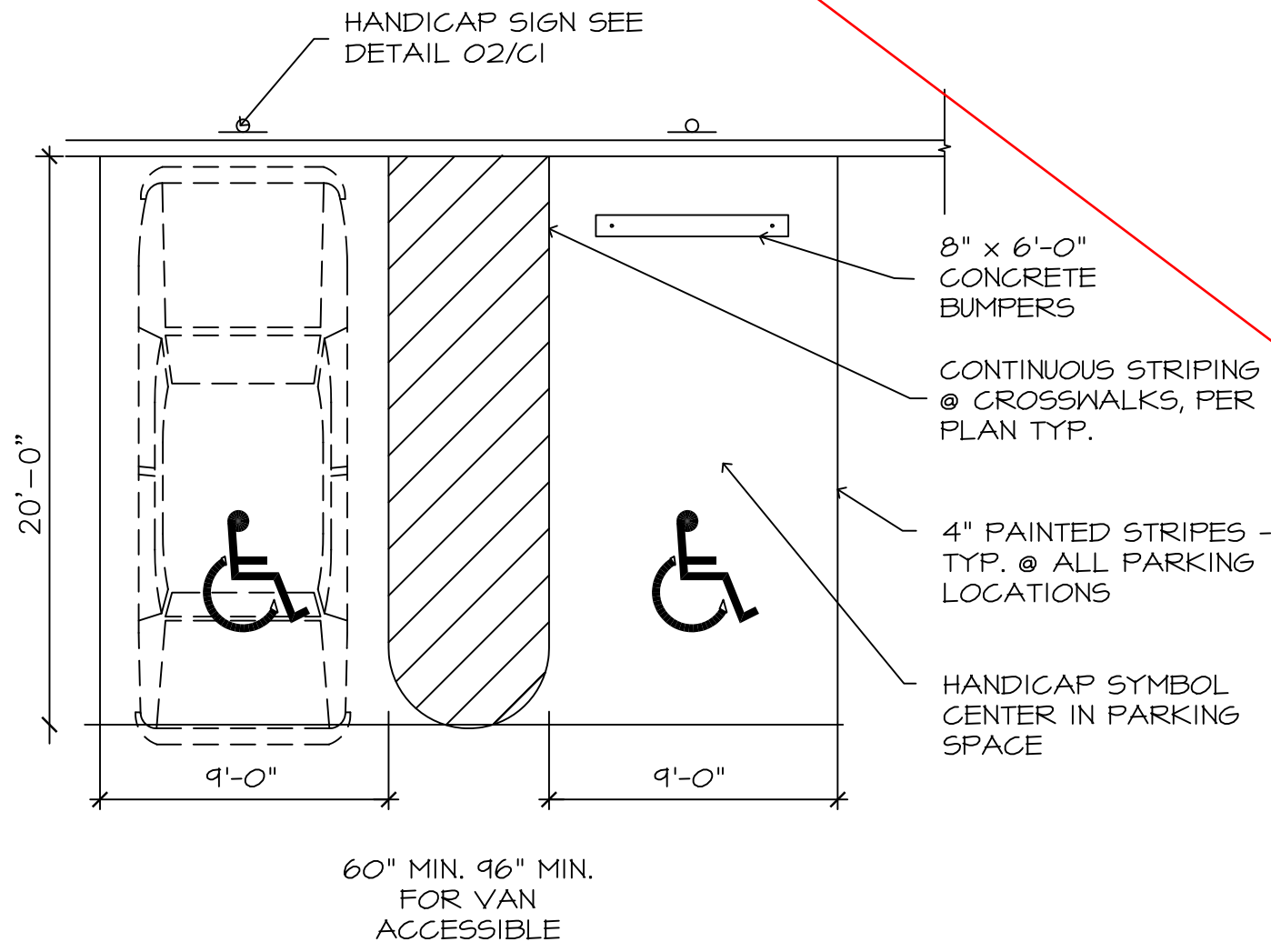
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DRAWN	HNC
DATE	08/28/2025
Job#: 25001	



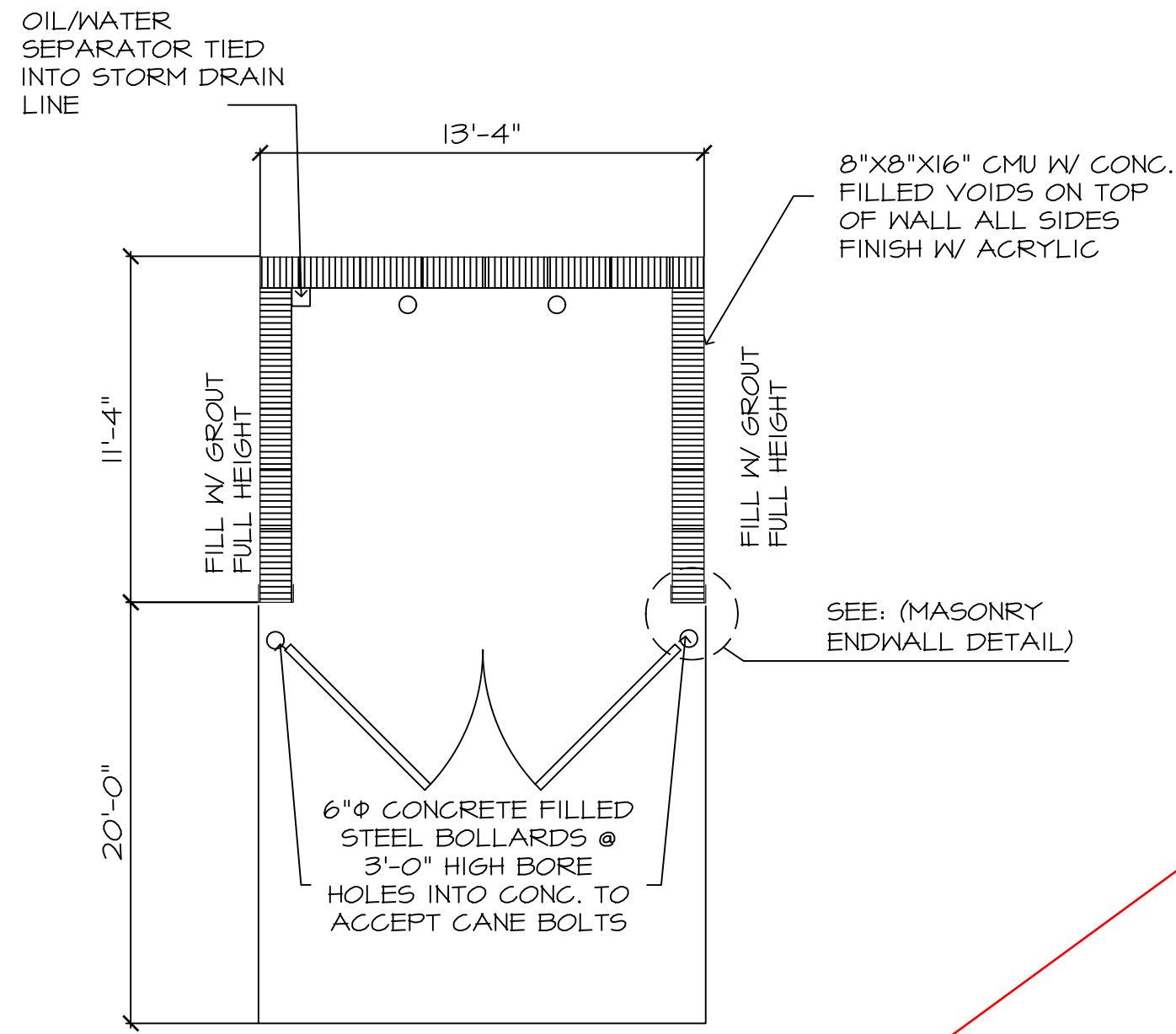
LANDSCAPE PLAN

Aug. 28, 2025 10:16am hengyu
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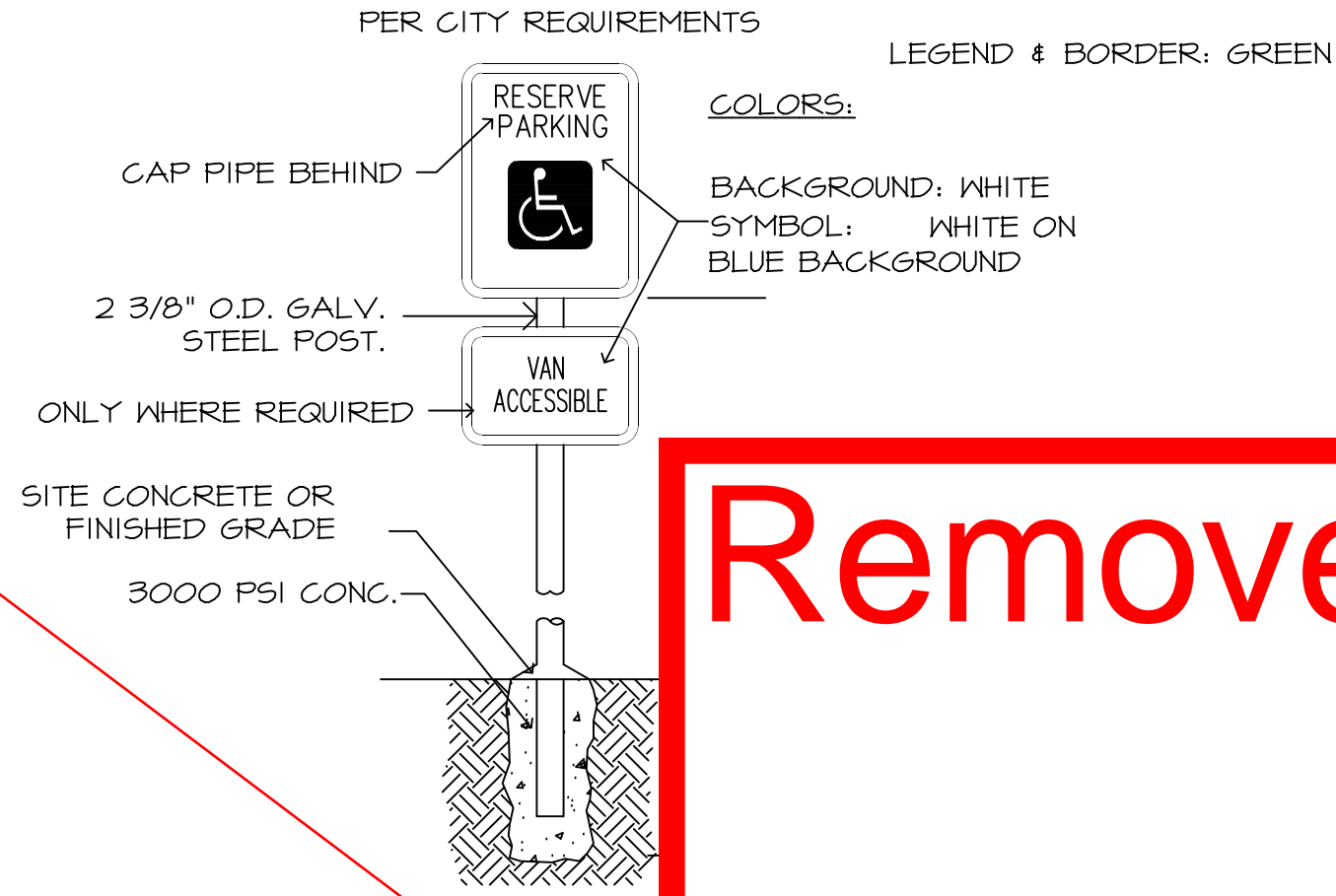
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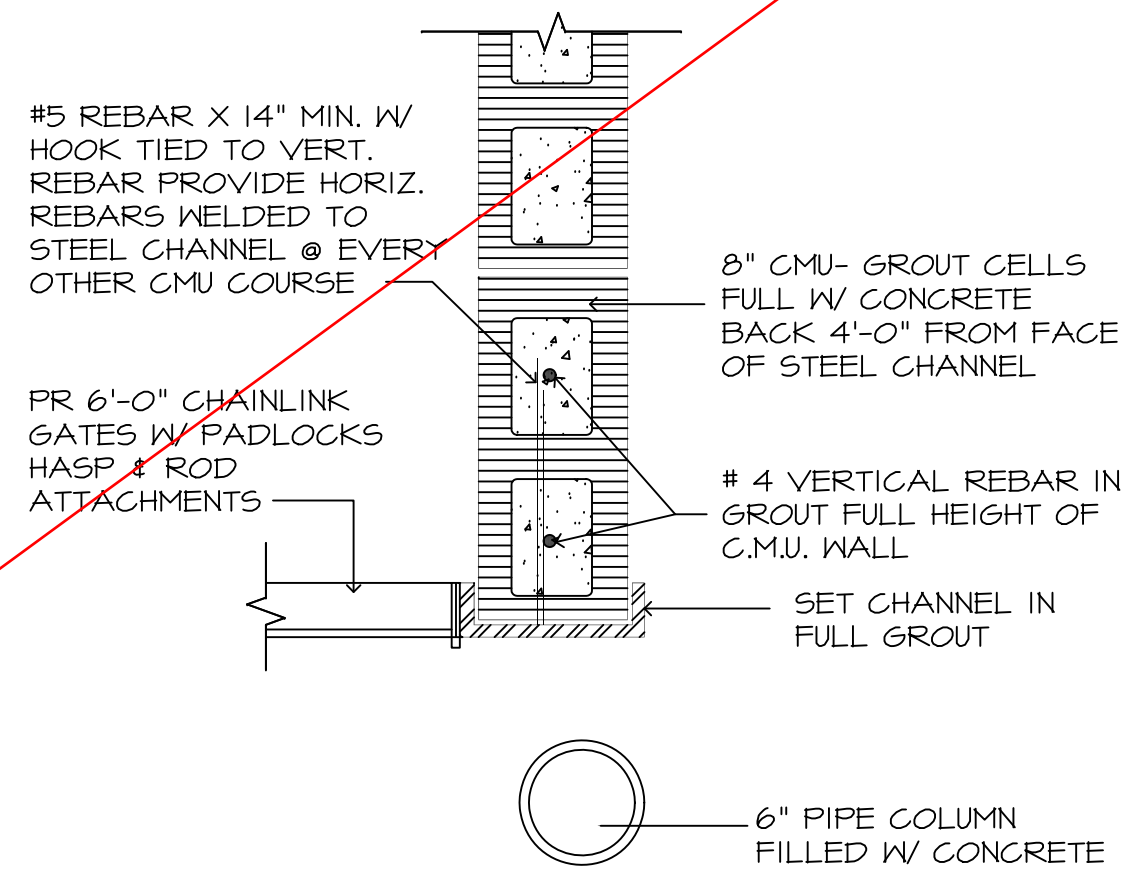
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SCALE: NONE



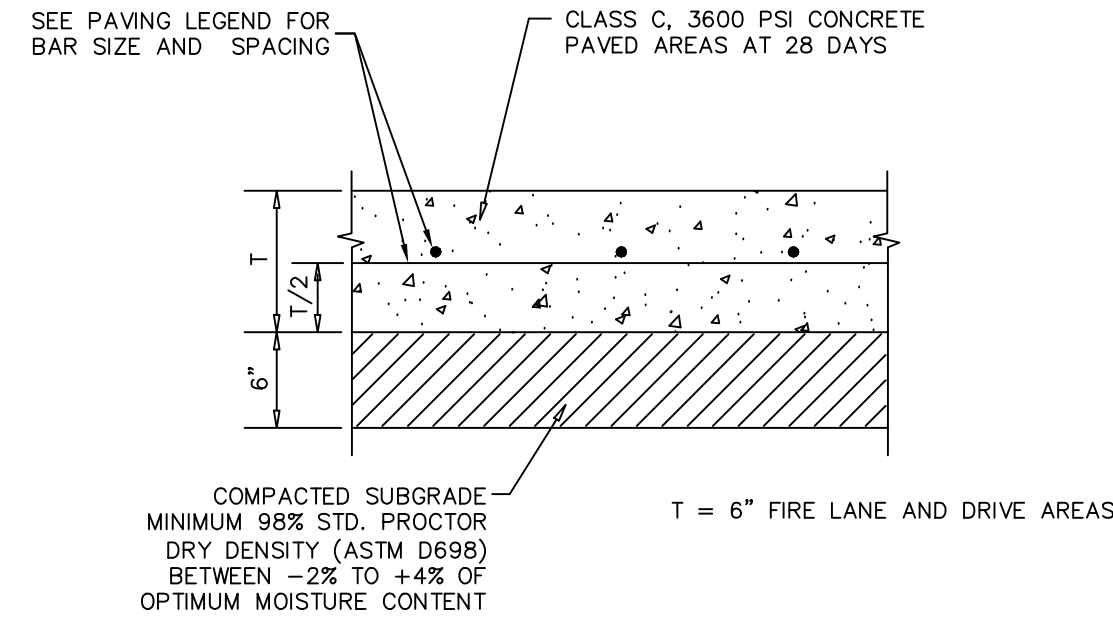
TRASH ENCLOSURE PLAN
SCALE: NONE



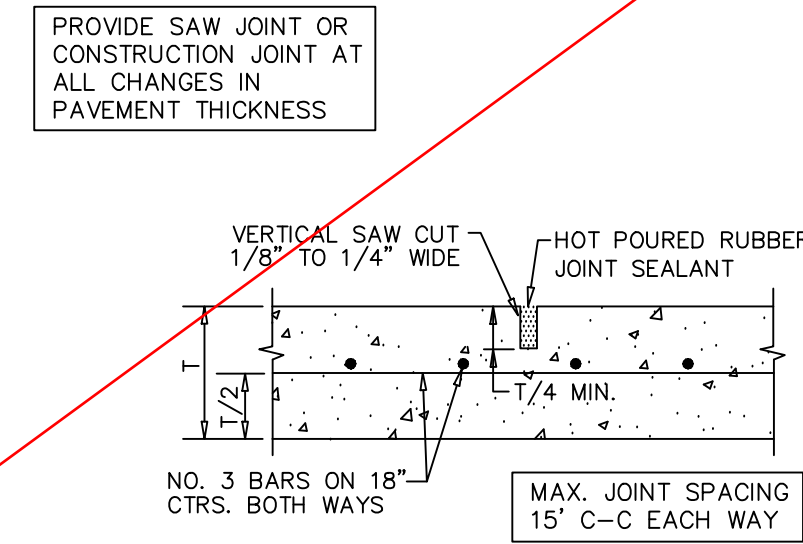
DETAIL - HANDICAP SIGN
SCALE: NONE



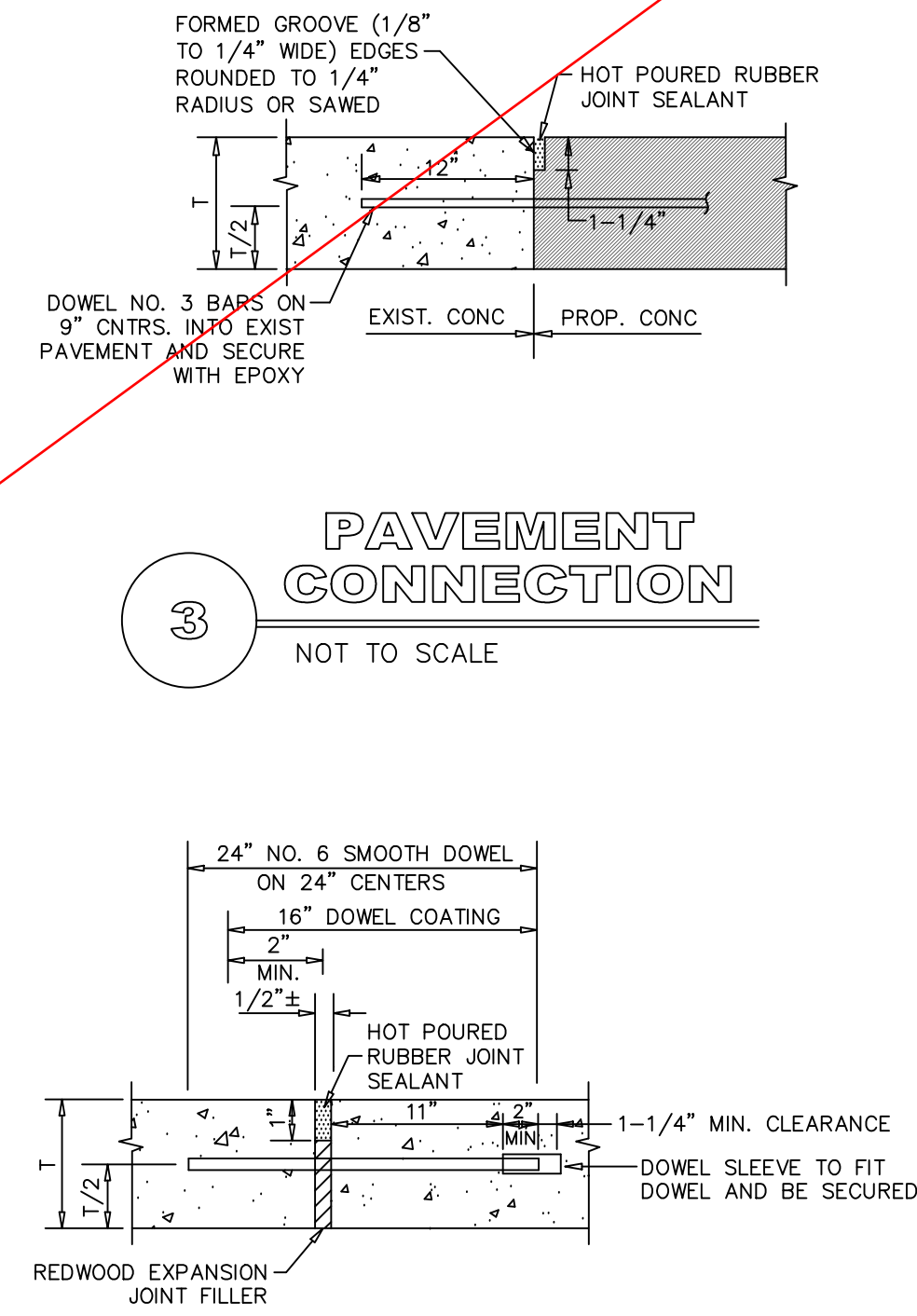
MASONRY ENDWALL DETAIL
SCALE: NONE



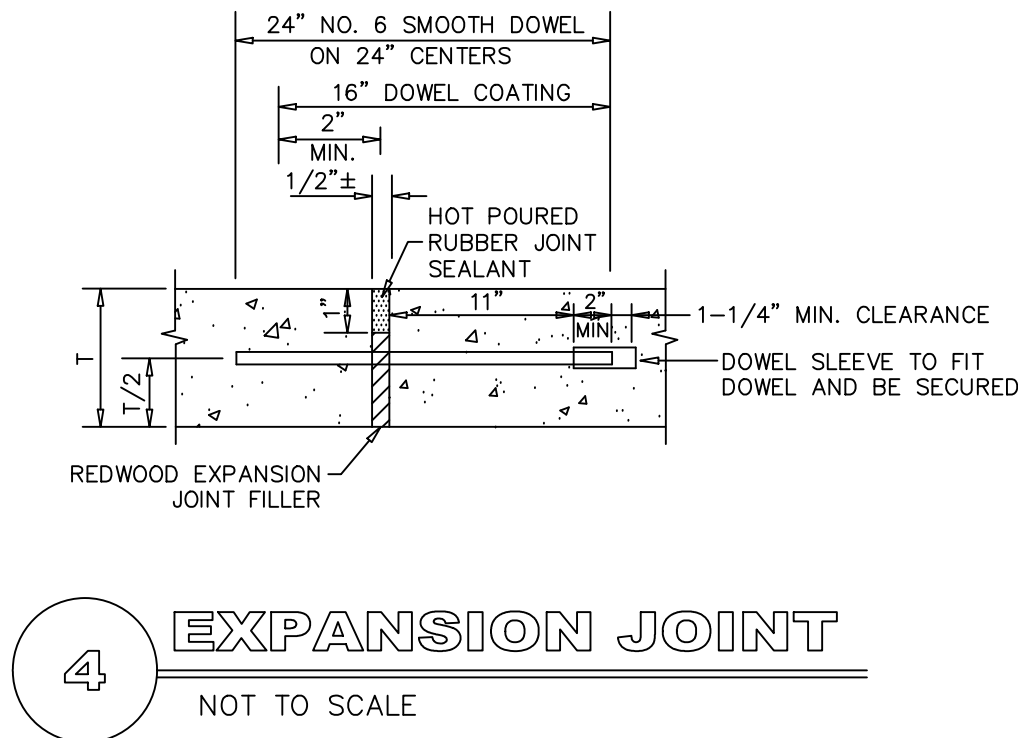
1 PAVEMENT SECTION
NOT TO SCALE



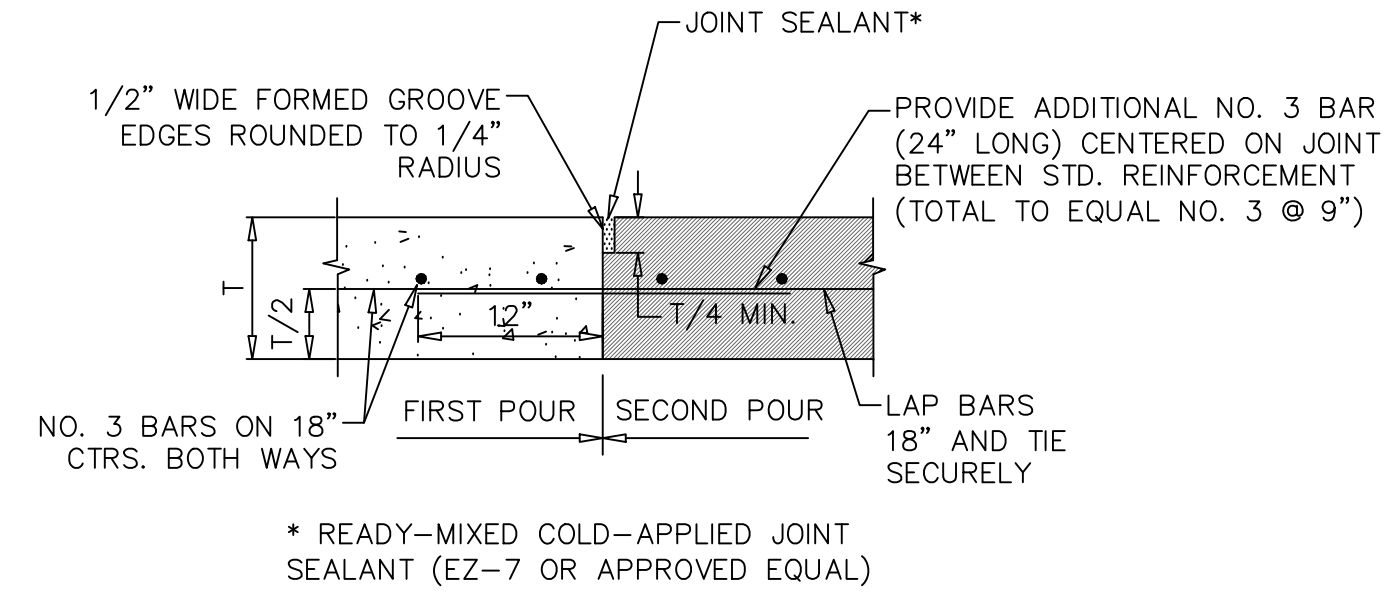
2 SAWED DUMMY JOINT
NOT TO SCALE



3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE



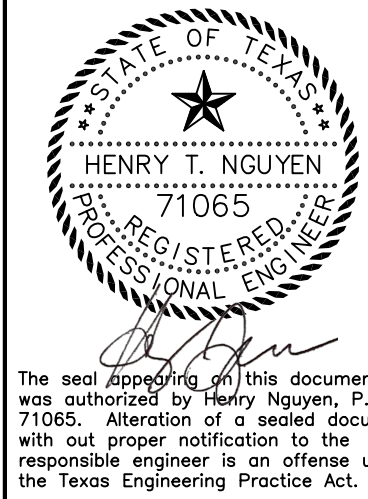
5 CONSTRUCTION JOINT
NOT TO SCALE

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@swbell.net
Texas Registered Engineering Firm F-16239

REVISIONS		Approved
Date	Description	

SKYRIDGE RETAIL
BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	08/28/2025
Job#:	25001



SITE DETAILS

C8.1



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST (SELECT ONLY ONE BOX):

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE)¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE)¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE)¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE)¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE)¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE)^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE)¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00)²

NOTES:

¹ IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
² A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 2200 Ridge Road, Rockwall TX 75087

SUBDIVISION Sky Ridge Addition

LOT 8 BLOCK A

GENERAL LOCATION NW of YellowJacket & Ridge Road Intersection

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Commercial District

CURRENT USE None

PROPOSED ZONING

PROPOSED USE Nail Salon & General Retail

ACREAGE 0.976

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

- ☐ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Beauty Legacy, LLC

☐ APPLICANT Henry Nguyen Consulting, LLC

CONTACT PERSON Lien Nguyen

CONTACT PERSON Henry Nguyen

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

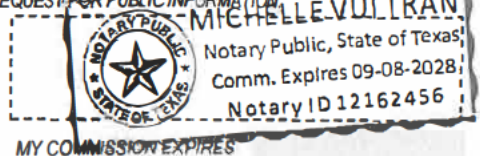
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Kim Lien T. Nguyen [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

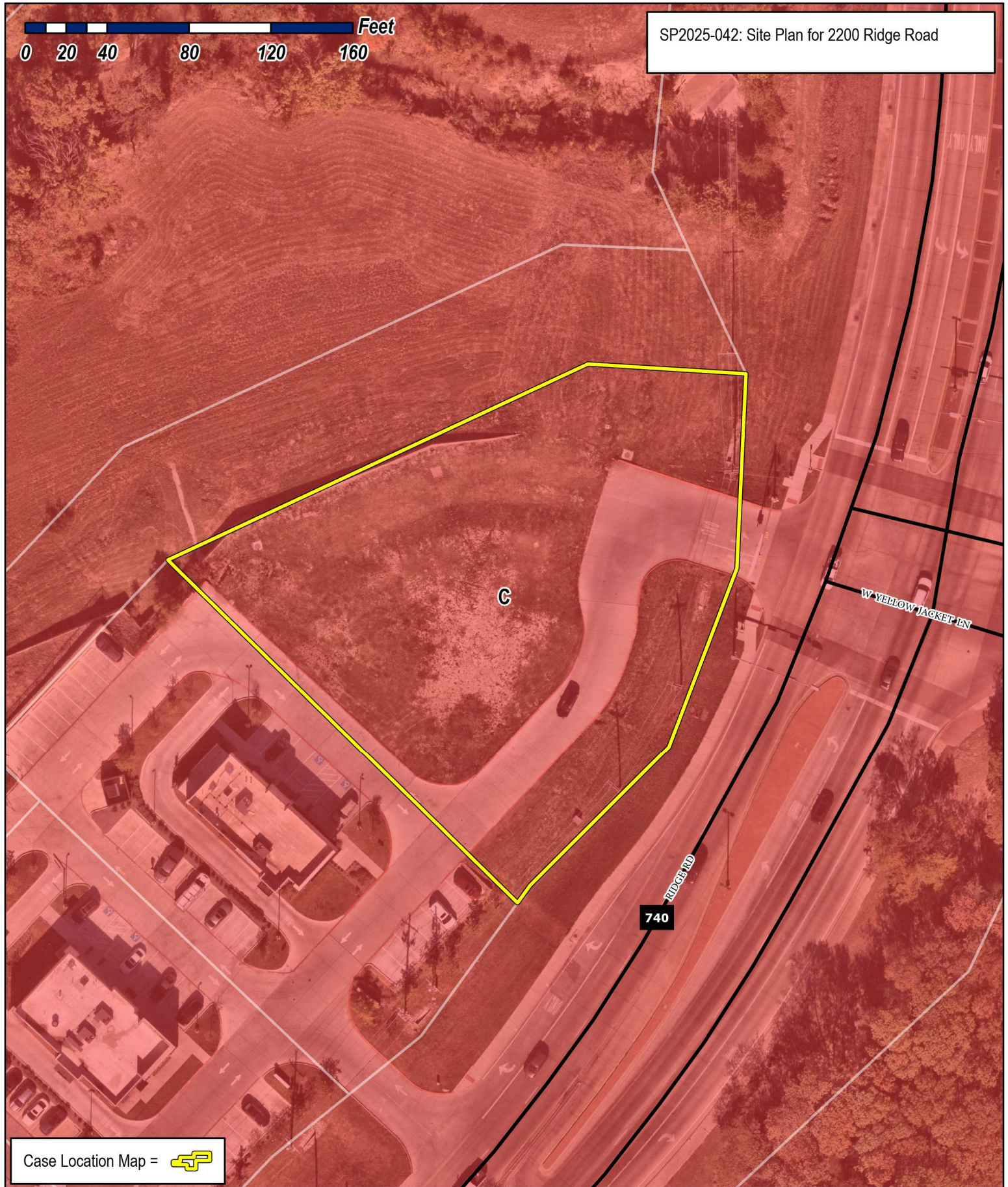
"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ _____ TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE _____ DAY OF _____, 20____. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."


GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 10th DAY OF December, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



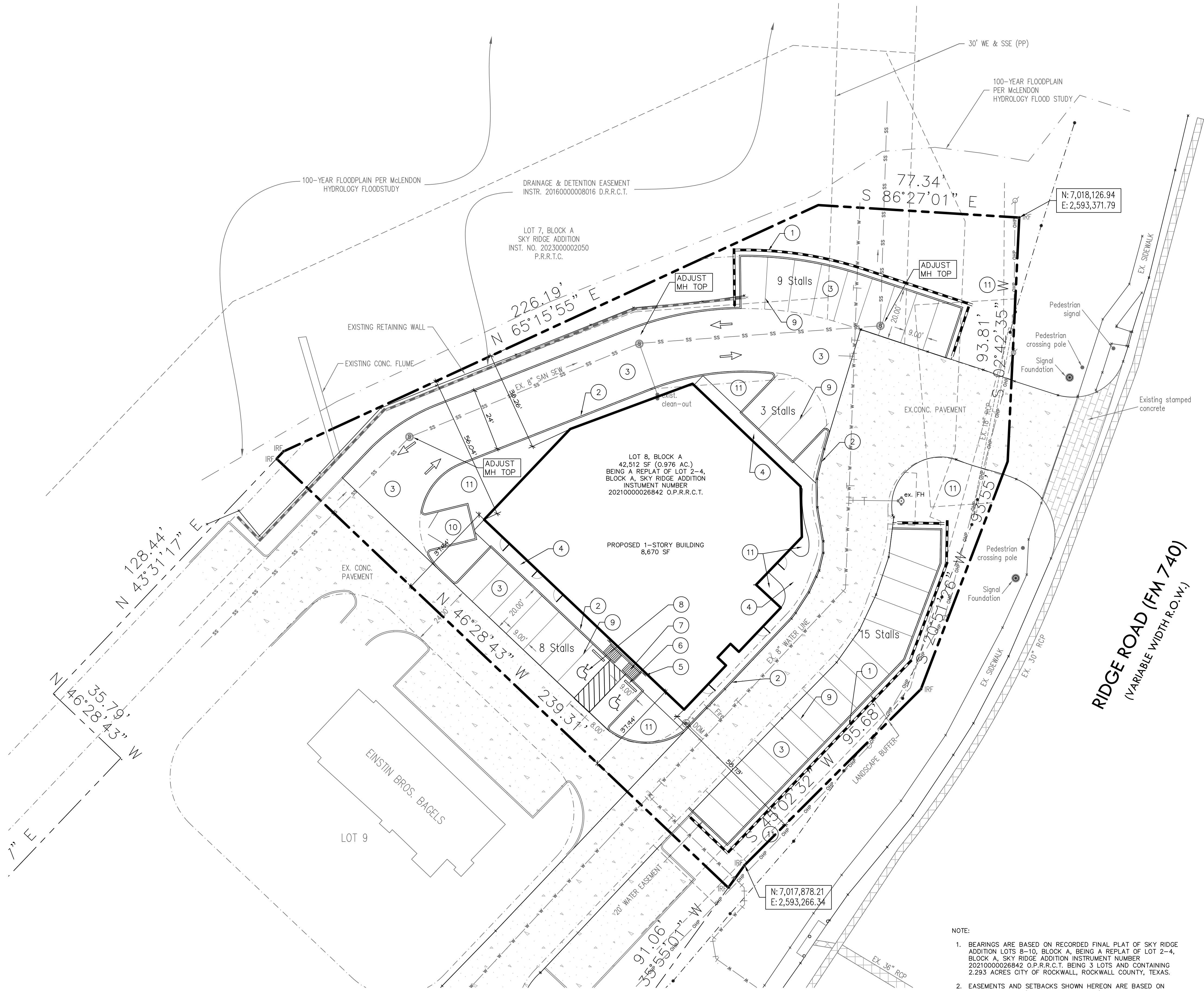
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



Sep 10/2025 2:08pm henga
C:\Users\heng\OneDrive\Henry Nguyen Consulting\Projects\Active\25001-SKY RIDGE ADDITION\8-SHEET SET\8-25-SITE PLAN.dwg



NOTE:

- BEARINGS ARE BASED ON RECORDED FINAL PLAT OF SKY RIDGE ADDITION LOTS 8-10, BLOCK A, BEING A REPLAT OF LOT 2-4, BLOCK A, SKY RIDGE ADDITION INSTRUMENT NUMBER 20210000026842 O.P.R.R.C.T. BEING 3 LOTS AND CONTAINING 2.293 ACRES CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS.
- EASEMENTS AND SETBACKS SHOWN HEREON ARE BASED ON RECORDED PLAT (CASE NO. P2023-005) UNLESS OTHERWISE NOTED.
- UNDERGROUND UTILITIES SHOWN ARE APPROXIMATE. CONTRACTOR SHALL VERIFY EXACT LOCATION OF UNDERGROUND UTILITIES PRIOR TO CONSTRUCTION.
- ALL DIMENSIONS ARE TO FACE OF CURB.

SITE DATA

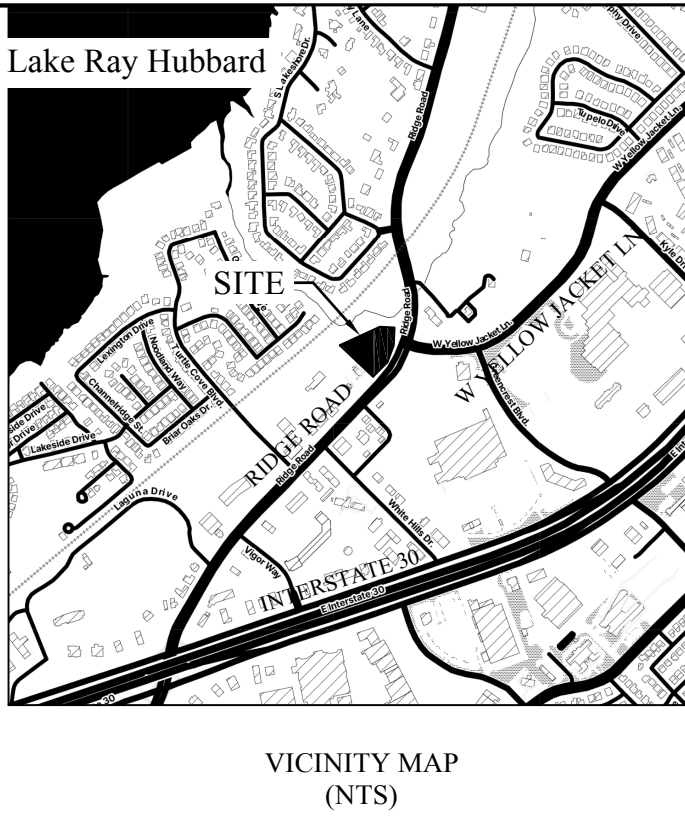
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BUILDING HEIGHT	1 STORIES, 30'
BUILDING AREA	8,670 SF
FLOOR AREA RATIO	0.2039
TOTAL IMPERVIOUS AREA	31,613 SF (74% COVERAGE)
LANDSCAPE AREA	10,899 SF (26% COVERAGE)
EXISTING ZONING	C -COMMERCIAL DISTRICT
PROPOSED USAGE	NAIL SALON AND RETAILS
REQUIRED PARKING	1 parking space/250 sf (8500/250=34 required)
PROVIDED PARKING	35 SPACES

KEYNOTES

- CONSTRUCT RETAINING WALL
- CONSTRUCT MONOLITHIC CONCRETE CURB
- INSTALL CONCRETE PAVEMENT
- CONSTRUCT 4" THICK CONCRETE SIDEWALK
- INSTALL HANDICAP SIGN
- INSTALL PRECAST CONCRETE WHEELSTOPS
- CONSTRUCT STANDARD ADA RAMP
- PAINT HANDICAP SYMOL - WHITE ON BLUE BACKGROUND
- PAINT 4" SOLID STRIPE - WHITE
- CONSTRUCT 8' TRASH ENCLOSURE W/OIL/WATER SEPARATOR CONNECTED TO STORM
- LANDSCAPE AREA

LEGEND

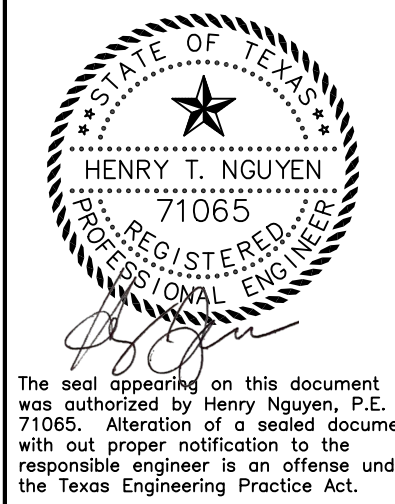
	EXISTING SIGNAL FOUNDATION
	EXISTING FIRE HYDRANT
	EXISTING SANITARY CLEANOUT
	EXISTING SANITARY SEWER MANHOLE
	EXISTING POWER POLE
	EXISTING OVERHEAD POWER LINE
	EXISTING WATER LINE
	EXISTING SANITARY SEWER LINE
	EXISTING CONCRETE PAVEMENT



REVISIONS		Approved
Date	Description	

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN	HNC
DRAWN	HNC
DATE	09/10/2025
Job#:	25001

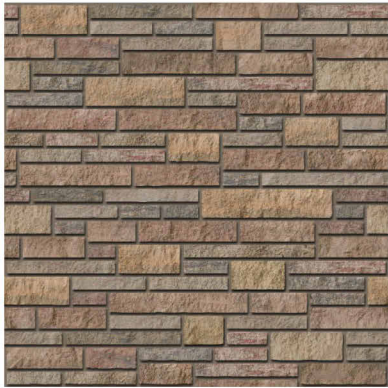


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SITE PLAN

GENERAL NOTES

1.
2.
3.
4.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH
ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED
FROM VIEWS BY LANDSCAPING
INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES;
ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE
GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STACKED STONE
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - SOUTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,361.15	66.64%
OPENINGS, WINDOWS	1	681.43	33.36%
TOTAL WALL AREA		2,042.58	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



1 SOUTH ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: TT, NH
DRAWN BY: NH
CHECKED BY: TT

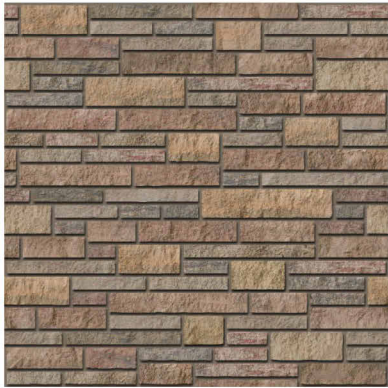
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ONLY CONTRACTOR SHALL CAREFULLY REVIEW ALL DIMENSIONS AND
CONDITIONS SHOWN HEREIN AND AT ONCE REPORT TO THE
ARCHITECT ANY ERROR/INCONSISTENCY OR OMISSION DISCOVERED.

BUILDING ELEVATIONS
A200

GENERAL NOTES

1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2.
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4.
- INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA

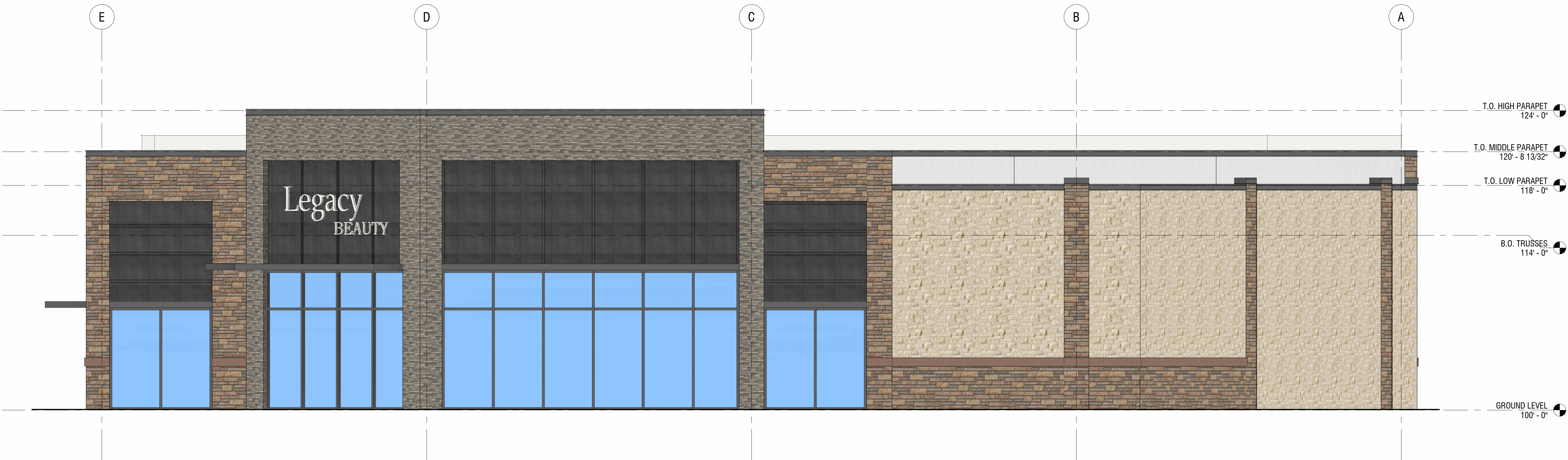


SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - EAST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VANEER	1	1,665.53	76.06%
OPENINGS, WINDOWS	1	524.28	23.94%
TOTAL WALL AREA		2,189.81	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 EAST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025		
NO.	REVISION	DATE

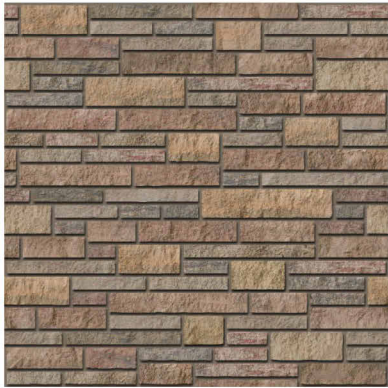
DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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GENERAL NOTES

1.
2.
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- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
- INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES, ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA



SLATE STONE VANEER
SLIMSTONE
MIDNIGHT

EXTERIOR MATERIALS - WEST ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,499.26	69.26%
WINDOWS, CLEAR GLASS	1	665.38	30.74%
TOTAL WALL AREA		2,164.64	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



1 WEST ELEVATION
1/4" = 1'-0"



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
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PH: 816-753-6100

SKYRIDGE RETAIL BUILDING
LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

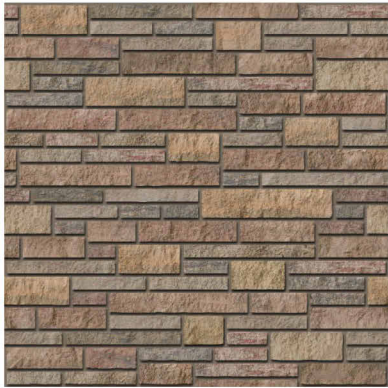
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BUILDING ELEVATIONS
A202

GENERAL NOTES

1.
- EXTERIOR COLORS ARE INDICATED BY MATERIAL MANUFACTURERS
2.
- ALL EXTERIOR MATERIAL TRANSITION, SILLS AND HEADERS WHICH ARE NOT CALLED OUT, MATCH TO WALL TRIM COLOR.
3.
- SPLIT SYSTEM W/ GROUND MOUNTED CONDENSORS TO BE SCREENED FROM VIEWS BY LANDSCAPING
4.
- INSTALL ALL ROOF PENETRATIONS AND EQUIPMENT (IE: VENT PIPES; ROOF VENTILATORS) ON THE REAR SIDE OF THE ROOF, TO THE GREATEST EXTENT POSSIBLE



STONE VANEER
OLDCOUNTRY
BIGHORN



STONE VANEER
OLDCOUNTRY
SMOKY MOUNTAIN



STONE VANEER
GEORGIA CITADEL
INDIANA

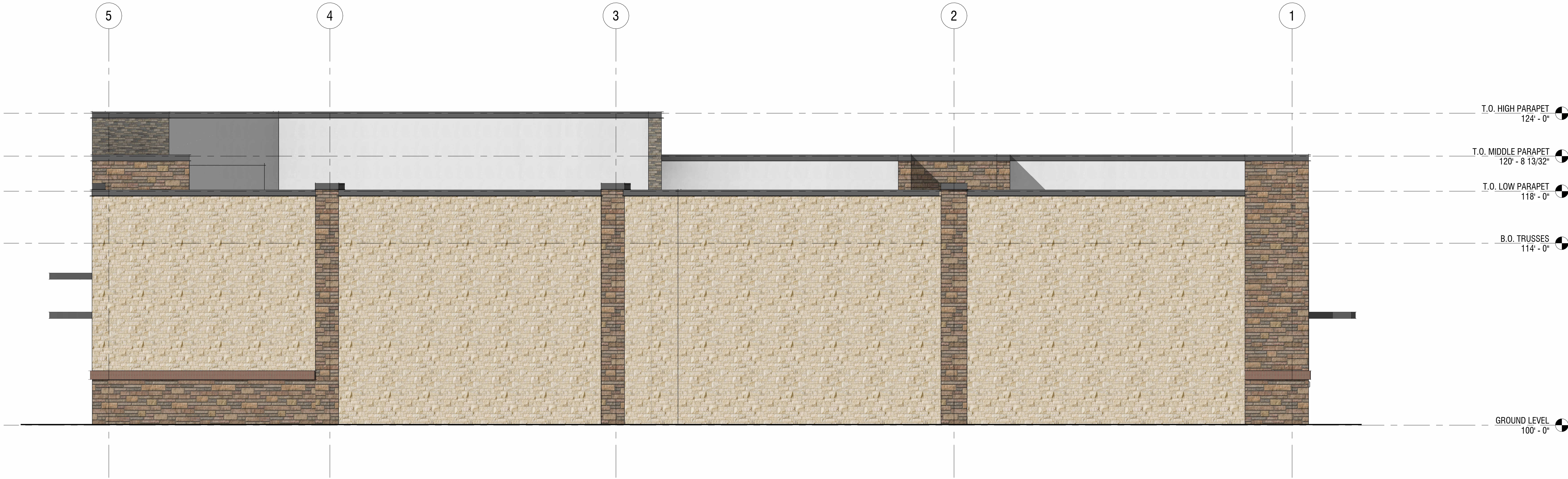
EXTERIOR MATERIALS - NORTH ELEVATION			
MATERIAL	CLASS	SQ. FT.	PERCENTAGE
STONE VENEER	1	1,648.32	100%
WINDOWS, CLEAR GLASS	1	0	0%
TOTAL WALL AREA		1,648.32	100%

EXTERIOR FINISHING SCHEDULE

NO.	MATERIAL/ITEMS	DESCRIPTION	COLOR/FINISH
1	STONE VENEER	OLD COUNTRY OR EQUAL	BIGHORN
2	STONE VENEER	OLD COUNTRY OR EQUAL	SMOKEY MOUNTAIN
3	STACKED STONE	GEORGIA CITADEL OR EQUAL	INDIANA
4	STONE SLATE VANEER	SLIMSTONE OR EQUAL	MIDNIGHT
5	WINDOWS (STOREFRONT)	PELLA ARCHITECT SERIES OR EQUAL	METAL - MATTE BLACK
6	EXTERIOR DOORS	ALUMINUM, PAINTED	METAL - MATTE BLACK
7	FASCIA	METAL, PAINTED	METAL - IRON ORE



ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100



2 NORTH ELEVATION
1/4" = 1'-0"

SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

SEAL

NOT FOR
CONSTRUCTION

Issue Date: 08/27/2025

NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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SKYRIDGE RETAIL BUILDING

LOT 2 - 2200 RIDGE RD, ROCKWALL, TX 75087

ARCHITECTURAL PRELIMINARY DESIGN

ARCHITECT
B + A ARCHITECTURE
100 W 31ST STREET, SUITE 100
KANSAS CITY, MISSOURI 64108
PH: 816-753-6100



ISSUED DATE: WEDNESDAY, AUGUST 27TH 2025

DRAWINGS INDEX:

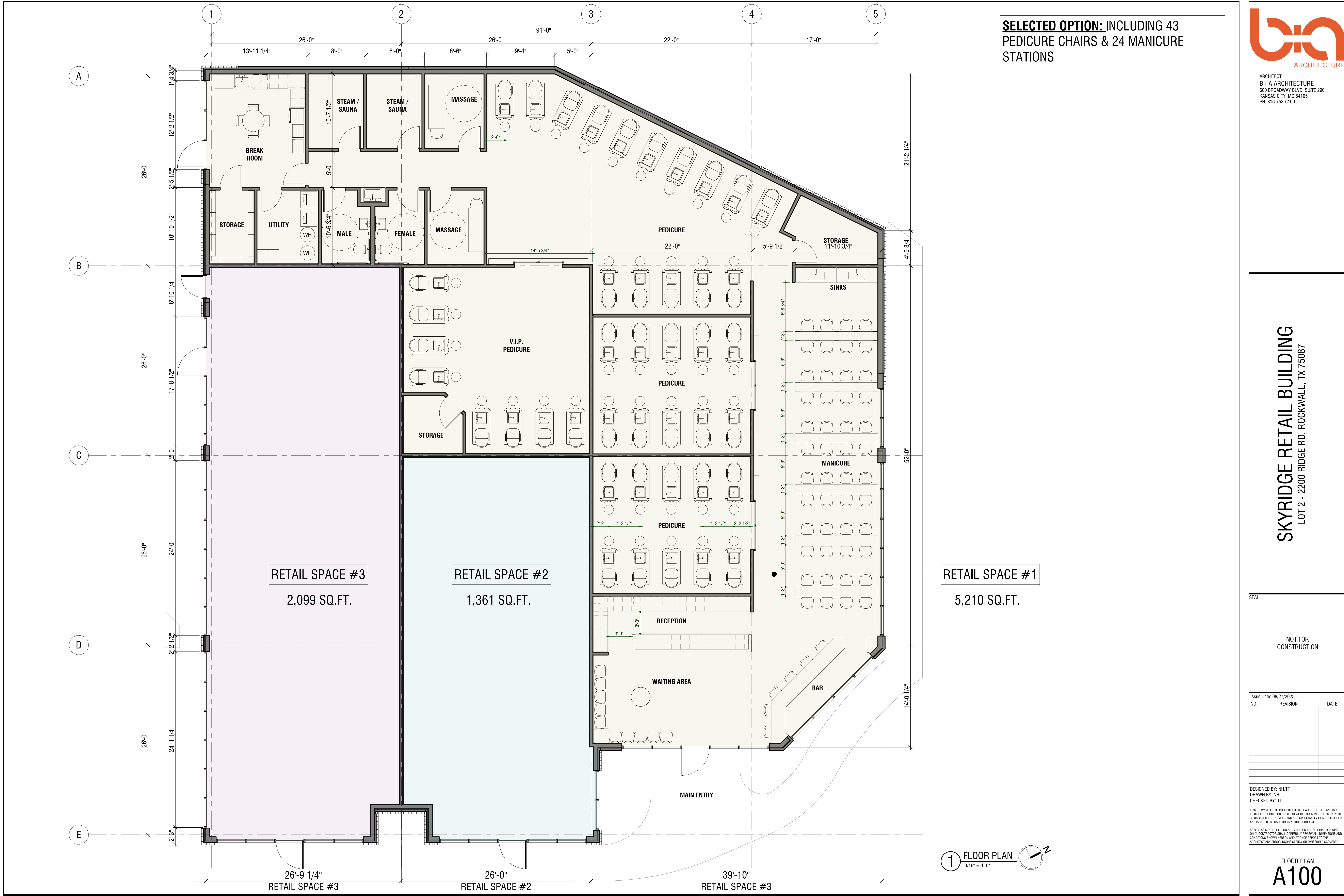
A001: SITE PLAN

A002: FLOOR PLAN

A200-203: ELEVATIONS

A700-704: RENDERINGS





ARCHITECT
B + A ARCHITECTURE
600 BROADWAY BLVD, SUITE 290
KANSAS CITY, MO 64105
PH: 816-753-6100

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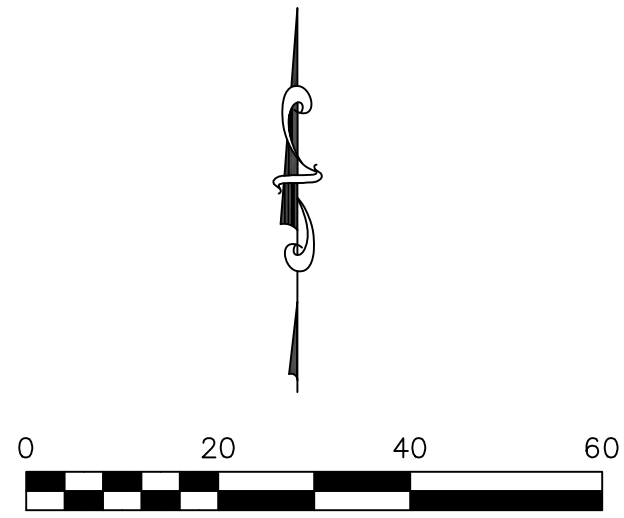
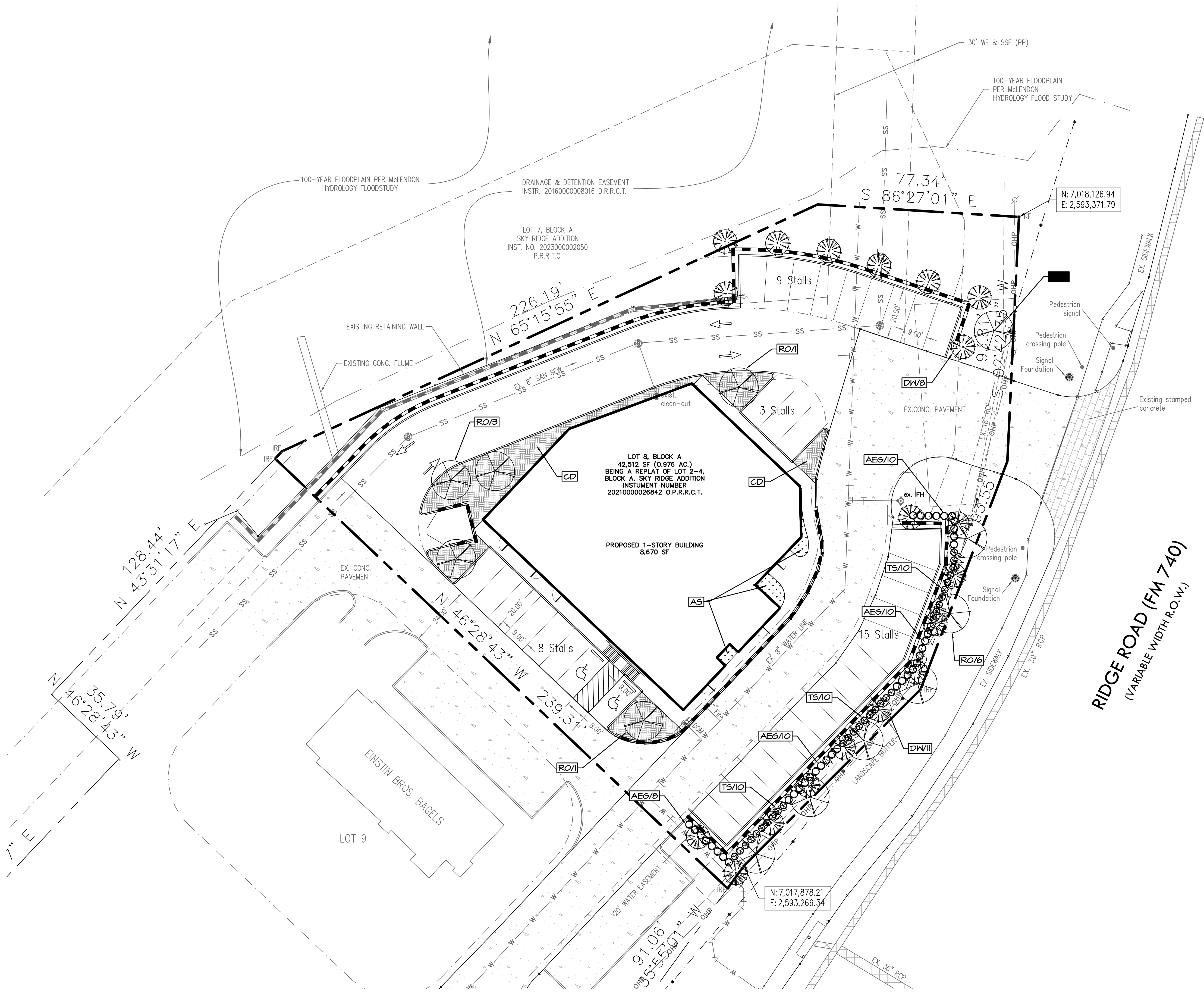
Issue Date: 08/27/2025		
NO.	REVISION	DATE

DESIGNED BY: NH,TT
DRAWN BY: NH
CHECKED BY: TT

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Aug 28, 2025 10:16am hengz
C:\Users\hengz\OneDrive\My Documents\Projects\Active\25001-SKY RIDGE ADDITION\8-SHEET_SETS\LANDSCAPE.dwg



1. Overall Site Landscaping Percentage	
For Commercial Districts, the required landscaping is 20% of the net lot area.	
Required	Provided
20% x 42,512 sf = 8,502.40 sf	10,899 sf (26%)

2. Perimeter Landscaping (Buffers)	
A. Street Frontage Landscaping:	
Requirement: 10 feet along all public street frontages.	
Trees: Typically, one (1) large canopy tree per 50 linear feet of street frontage.	
Shrubs/Groundcover: The remaining area within the landscape strip must be covered with shrubs, groundcover, or turf.	
Required	Provided
10'	10'
Frontage = 283.04 LF/50 = 6 Trees	26
3 shrubs/10 LF x 283.04 LF = 85 Shrubs	85

3. Interior Parking Lot Landscaping	
Trees:	
Number/Coverage: one (1) shade tree per 10 number of parking spaces (1/10 x 35 spaces = 4 trees), or 20% of the parking lot area (20% x 5,760 sf = 1,152 sf).	
Island Requirements: Landscaped islands are typically required at the end of every parking row and within longer rows (e.g., for every 10-15 spaces). These islands must accommodate at least one large canopy tree.	
Shrubs/Groundcover: All areas within interior landscape islands and strips must be fully planted with shrubs, groundcover, or turf.	
Required	Provided
1 tree/10 parking spaces x 35 = 4 trees	5
5,760 sf x 20% = 1,152 sf	1,985 sf (34%)

LANDSCAPE LEGEND		
	CD	COMMON BURMUDA GRASS SOD
	AS	ASIATIC JASMINE
	RO	TEXAS RED OAK
	DW	DESERT WILLOW
	AEG	EDWARD GOUCHER ABELIA
	TS	TEXAS SAGE
		PROPOSED RETAINING WALL



Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@swbell.net
Texas Registered Engineering Firm F-16239

Approved

Description

Date

SKYRIDGE RETAIL BUILDING
2200 RIDGE ROAD
ROCKWALL, TEXAS 75087

DESIGN

DRAWN

DATE

Job#:

HNC

HNC

08/28/2025

25001

LANDSCAPE PLAN

L1

Aug 28/2025 10:11am hengz
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PLANT LIST						
SYMBOL	BOTANIC NAME	COMMON NAME	QTY.	UNIT	SIZE	NOTES
★						
GROUND COVER						
CD	CYNODON DACTYLON	COMMON BERMUDA GRASS SOD	1820	SF		SOLID SOD PER INDUSTRY STANDARD
AS	TRACHELOSPERMUM	ASITIC JASMINE	165	SF		
★						
TREES AND SHRUBS						
RO	QUERCUS BUCKLEYI	TEXAS RED OAK	12	EA	4" CAL	12' HEIGHT SPACING PER PLAN
DN	CHILOPSIS LINEARIS	DESERT WILLOW	19	EA	4" CAL	12' HEIGHT SPACING PER PLAN
AEG	ABELIA X 'EDWARD GOUCHER'	EDWARD GOUCHER ABELIA	38	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.
TS	LEUCOPHYLLUM FRUTESCENS	TEXAS SAGE	48	EA	5 GAL	24" HEIGHT SPACED 36" O.C. MIN.

GENERAL LAWN NOTES

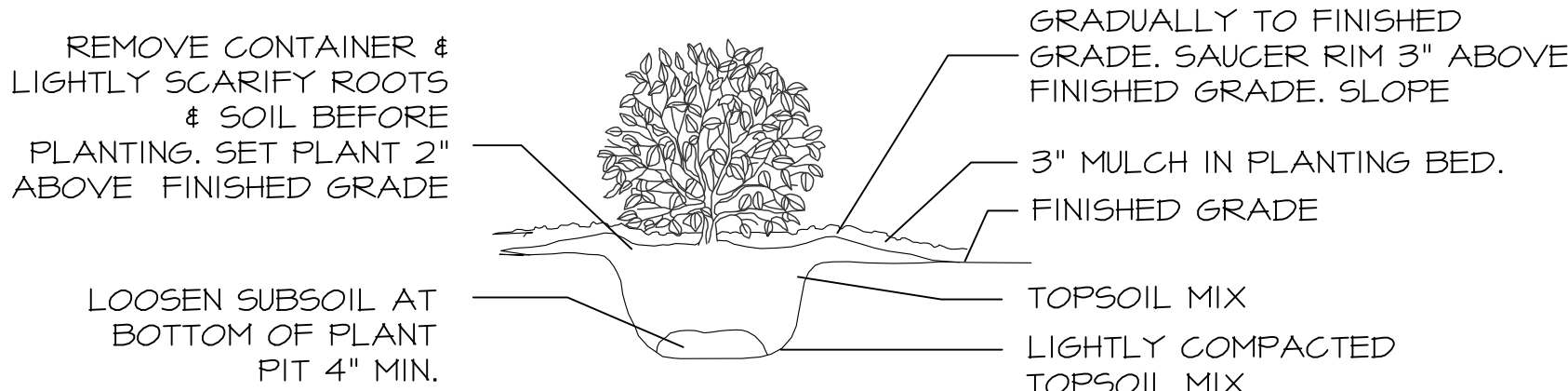
1. ALL LANDSCAPE/TURF AREAS TO BE INSTALLED WITH AUTOMATIC IRRIGATION SYSTEM MEETING CITY AND TCEQ STANDARD.
2. CONTRACTOR SHALL LEAVE LAWN AREAS 4" BELOW FINAL FINISHED GRADE PRIOR TO TOPSOIL INSTALLATION.
3. CONTRACTOR TO APPLY 4" CLEAN TOPSOIL TO ALL TURF AREAS PRIOR TO INSTALLATION OF SOD OR HYDROMULCH.
4. CONTRACTOR SHALL FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS AS INDICATED ON CIVIL PLANS. ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
5. LAWN AREAS SHALL BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED AND FINISH GRADE.
6. REMOVE ROCKS 3/4" DIAMETER AND LARGER, DIRT CLODS, STICKS, CONCRETE SPOILS, ETC. PRIOR TO PLACING TOPSOIL AND LAWN INSTALLATION.
7. GUARANTEE ESTABLISHMENT OF ACCEPTABLE TURF AREA AND PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
8. PLANT SOD BY HAND TO COVER INDICATED AREAS COMPLETELY. ENSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
9. ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
10. WATER SOD THOROUGHLY AS SOD REESTABLISHMENT PROGRESSES.
11. IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, OVER-SEED BERMUDA GRASS SOD WITH WINTER RYEGRASS, AT A RATE OF FOUR (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

CUSTOM PLANTING SOIL:

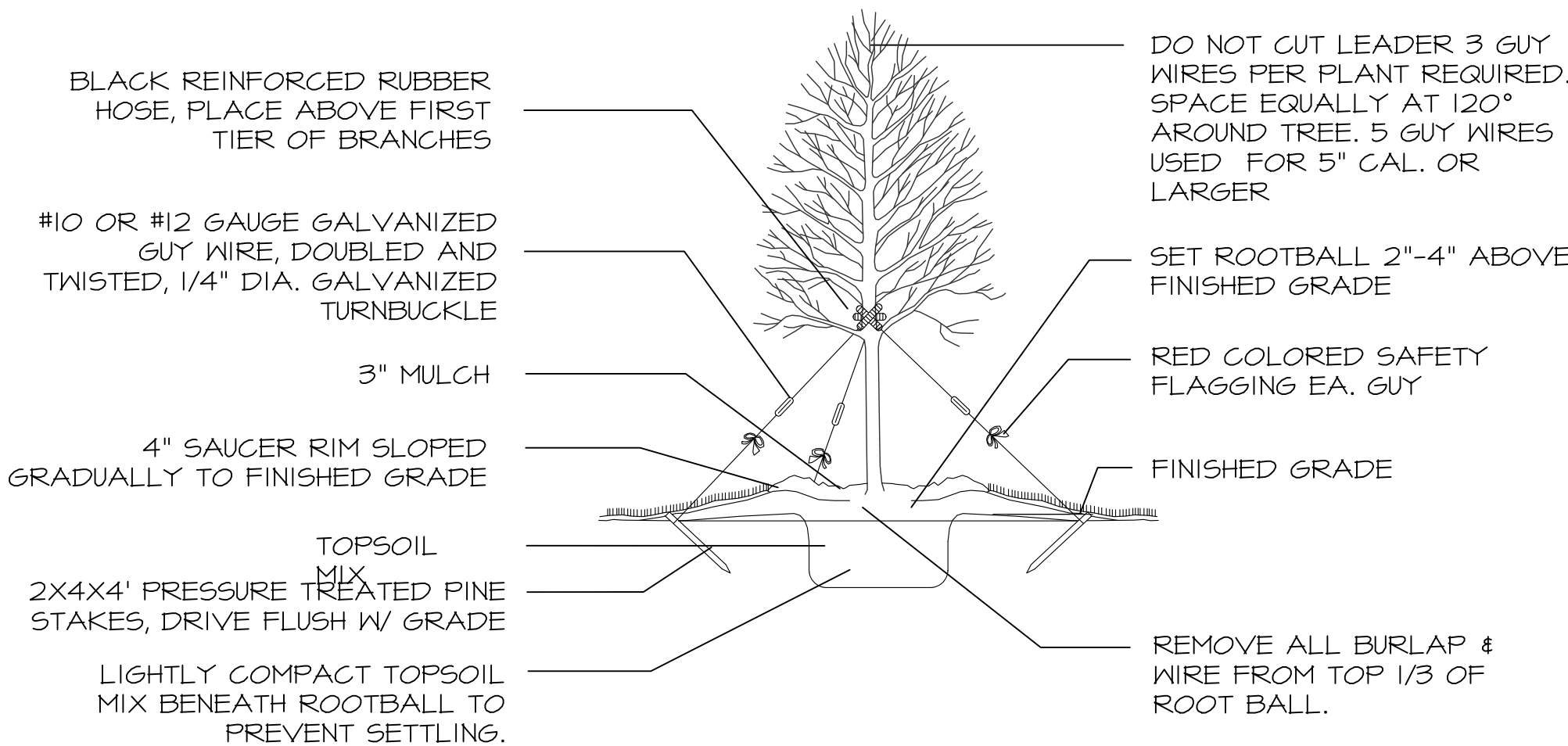
- AMENDED SOIL (IN SHRUB PLANTING BEDS & AT TREES)
PRODUCT: LANDSCAPERS BLEND (50/50)
DEPTH: 6" (TILLED INTO 6" OF EXISTING SOIL FOR A TOTAL DEPTH OF 12")
SUPPLIER: SOIL BUILDING SYSTEMS
CONTACT: 972-831-8181
INSTALLATION: PER SOIL BUILDING SYSTEMS SPECIFICATIONS

STEEL EDGING:

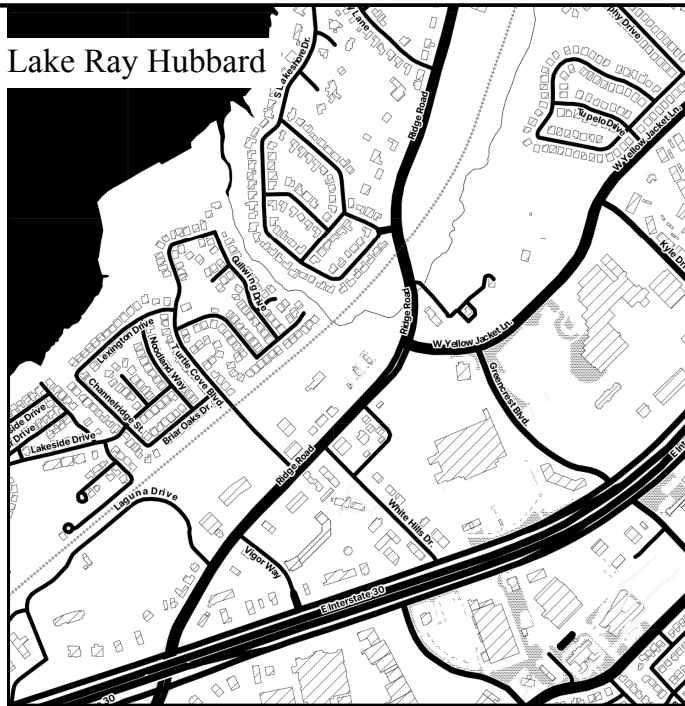
- METAL EDGING TO SEPARATE PLANTING BEDS FROM ADJACENT TURF.
PRODUCT: DURAEDGE
SIZE: 3/16" THICK x 4" HEIGHT x 16' LENGTH
NOTES: METAL EDGING SHALL NOT BE INSTALLED PARALLEL AGAINST CURBS AND SIDEWALKS. METAL EDGING SHALL BE TRIMMED WHERE IT ABUTTS SIDEWALKS AND CURBS TO AVOID SHARP EDGES.



A SHRUB PLANTING DETAIL
SCALE: NONE



B TREE PLANTING DETAIL
SCALE: NONE



DESIGN

DRAWN

DATE

Job#:

HNC

HNC

08/28/2025

25001

SKYRIDGE RETAIL BUILDING

2200 RIDGE ROAD

ROCKWALL, TEXAS 75087

REVISIONS

Date	Description	Approved

Henry Nguyen Consulting, LLC

Civil Engineering

1330 Glenfield Ave, Dallas, Texas 75224

(214) 773-4075 Email: henguyen@swbell.net

Texas Registered Engineering Firm F-16239

LANDSCAPE PLAN

L2

SEAL

STATE OF TEXA

HENRY T. NGUYEN

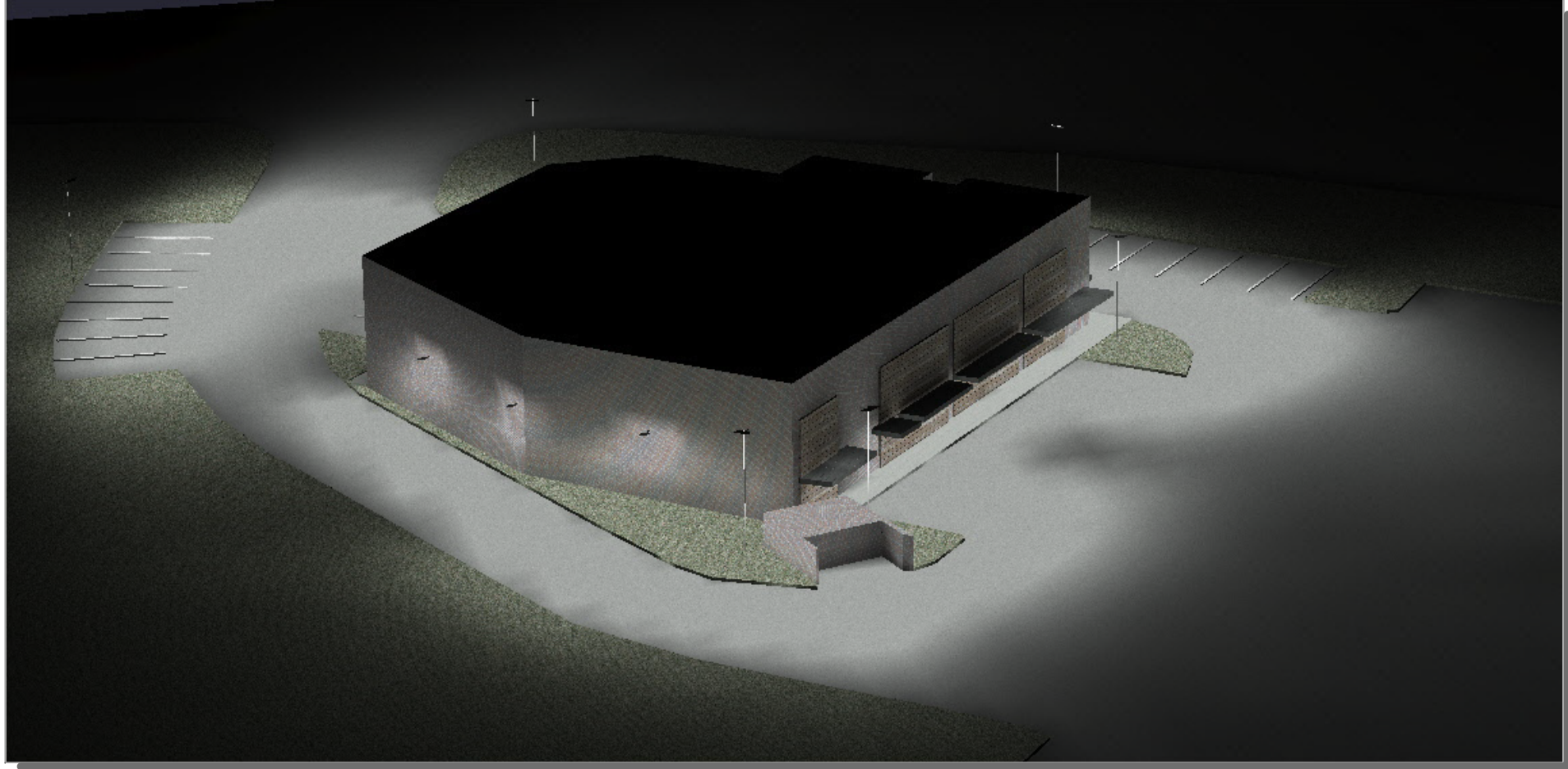
71065

REGISTERED PROFESSIONAL ENGINEER

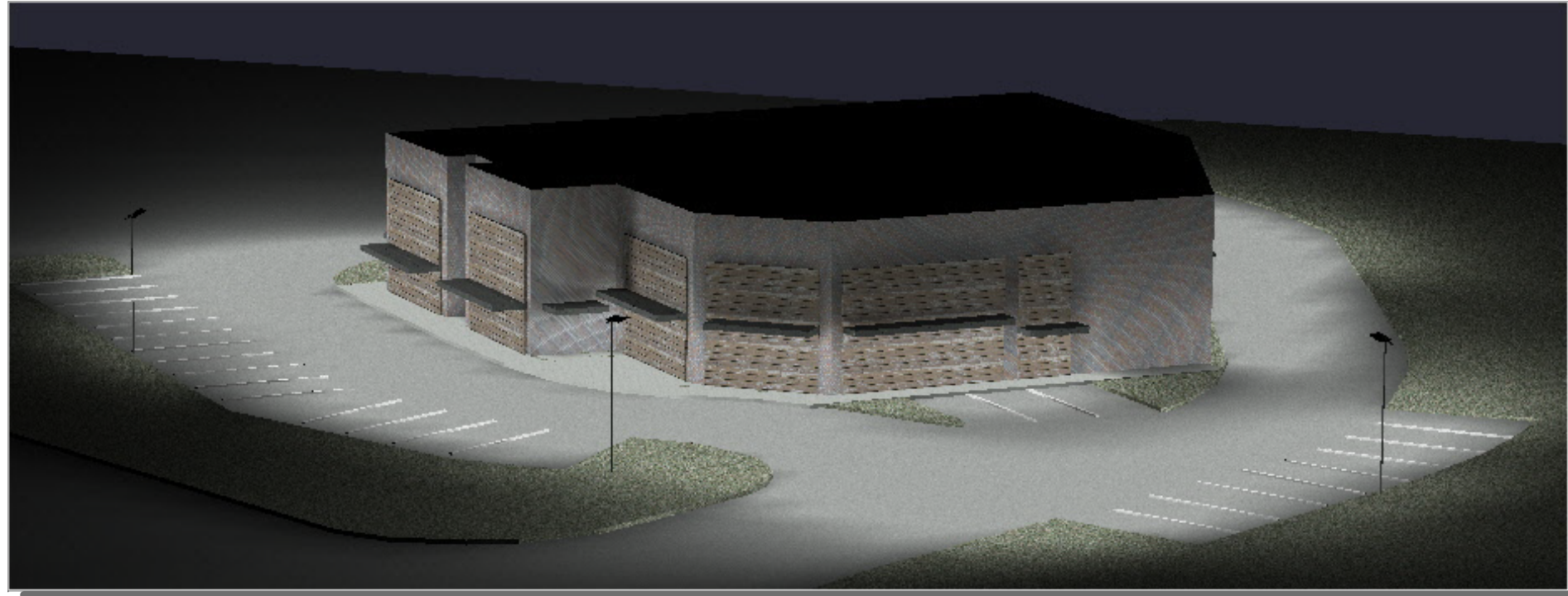
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RENDERED VIEW FROM THE SOUTH







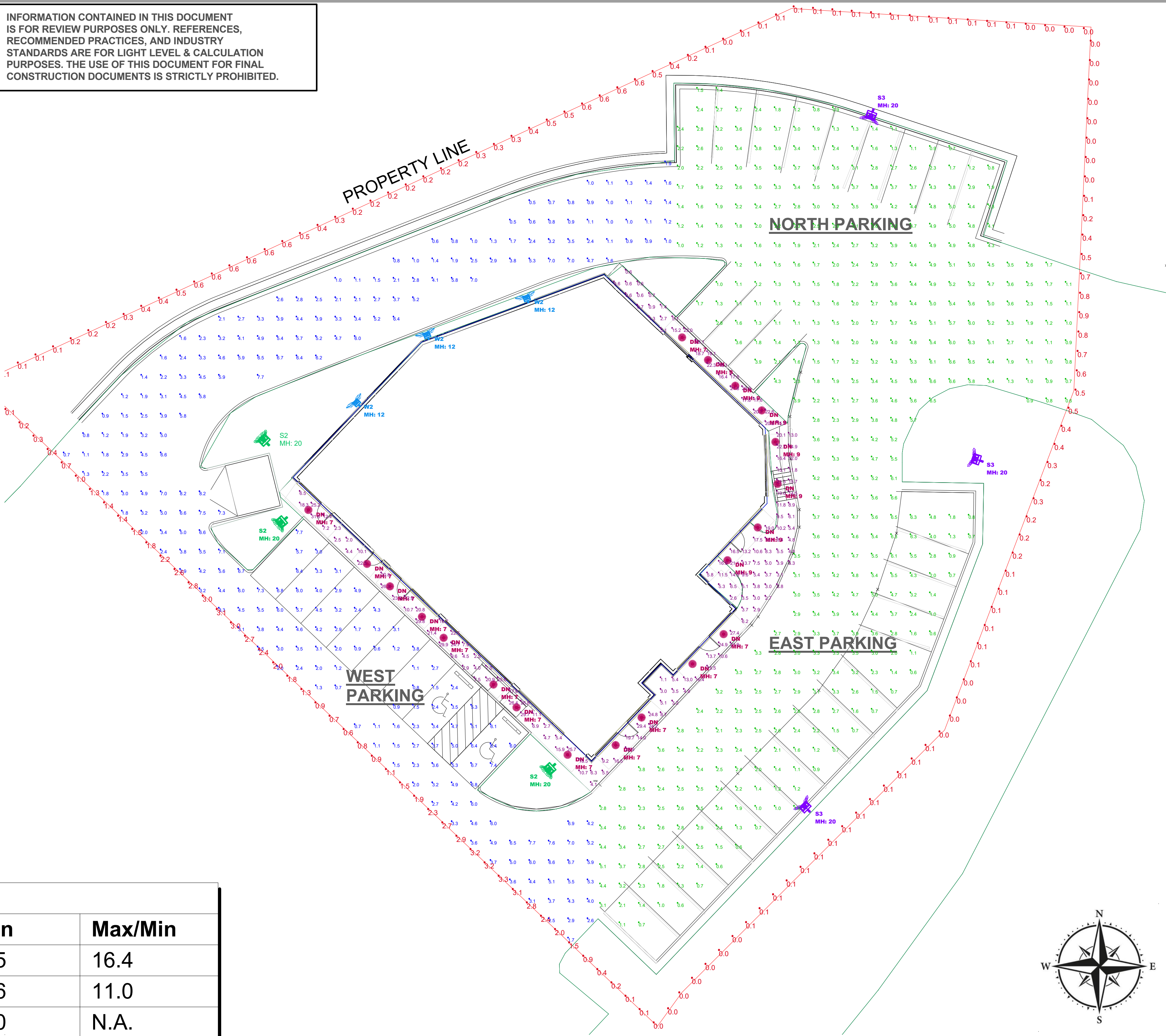
RENDERED VIEW FROM THE NORTH-WEST



RENDERING OF THE ENTRANCE, EAST SIDE

CALCULATION SUMMARY IN FOOT-CANDLES				
AREA	Avg	Max	Min	Max/Min
NORTH & WEST PARKING	3.5	8.2	0.5	16.4
NORTH AND EAST PARKING	2.9	6.6	0.6	11.0
PROPERTY LINE	0.6	3.3	0.0	N.A.
SIDEWALK	12.1	31.6	0.6	52.7

LIGHTING FIXTURE SCHEDULE							
SYB.	TAG	QTY.	MODEL	DISCRIPTION	LLF	WATTS	LUMENS
	DN	20	NU4-RD-SW-30LM-30K-LOPRO	ALAPHABET-4 IN- ROUND-3000°K-LOW PROFILE HOUSING	0.900	26.72	2234
	S2	3	VP-2-320L-185-3K7-2-HSS-270-B	BEACON VIPER-MICROSTRIKE-3000°K-TYPE II OPTICS	0.900	185.9	13348
	S3	3	VP-2-320L-235-3K7-3-BC	BEACON VIPER-MICROSTRIKE-3000°K-TYPE III -BACK CONTROL	0.900	238	18264
	W2	3	VPW2-18L-39-3K7-2	BEACON VIPER-WALL PACK-3000°K-TYPE II OPTICS	0.900	38.8	4683



SITE LIGHTING PHOTOMETRICS

ASSUMPTIONS:
Illuminance:
Parking Lot: 2-3 FC Avg.
Min. 0.5
Property Line: 1.0 or less
Soffit Down Lights:
Mount Centered in Canopy
(estimated at 7'-0" & 9'-0")
Wall Mounted:
12'-0"
Pole Mounted Fixtures:
20'-0" Pole and Base
Calculations Points @ Grade

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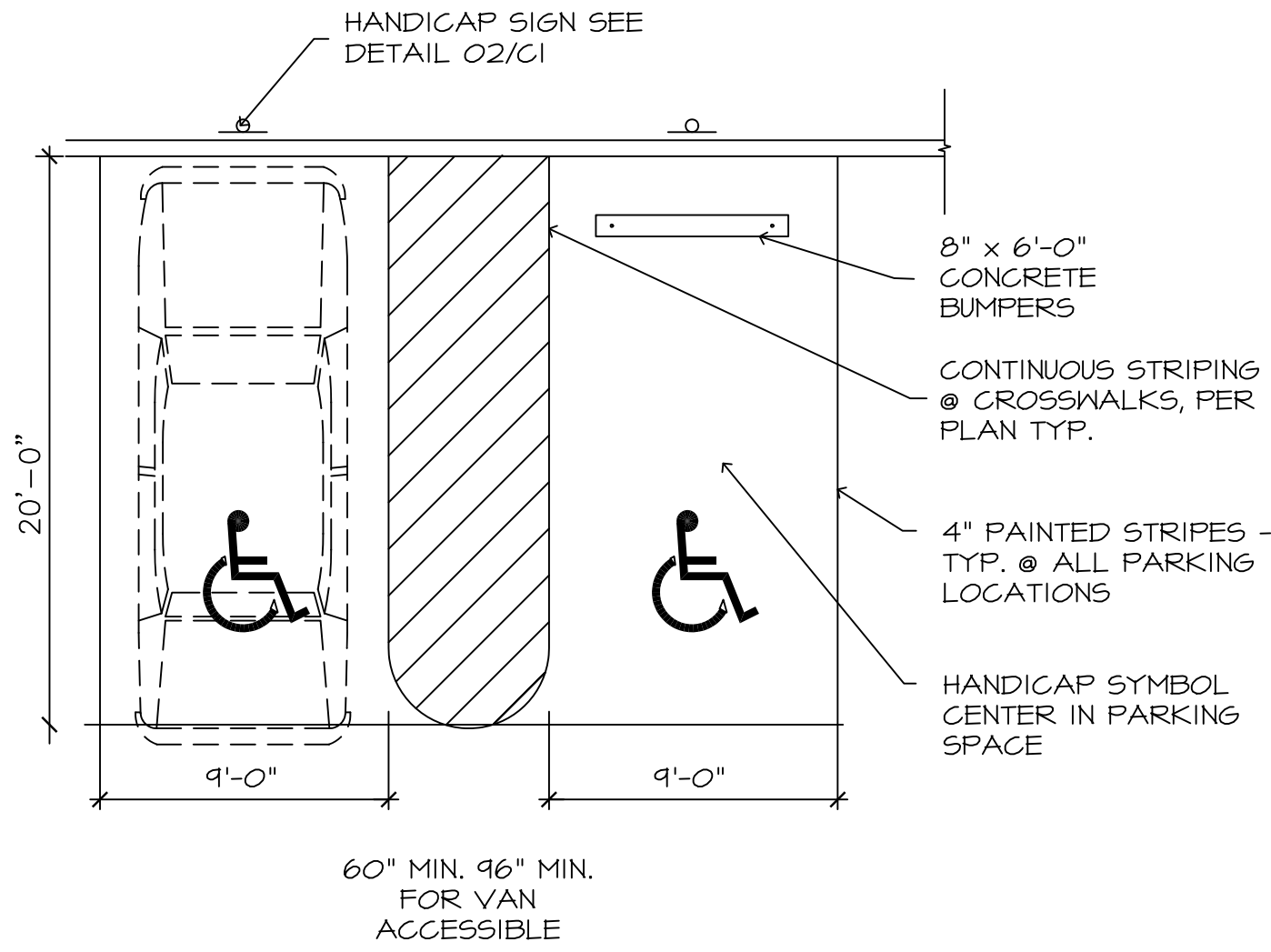
103 E 18th Avenue
North Kansas City, MO 64116
Phone: (816) 581-6300

SKYRIDGE RETAIL
LOT 2 - 2200 RIDGE RD,
ROCKWALL, TX 75087

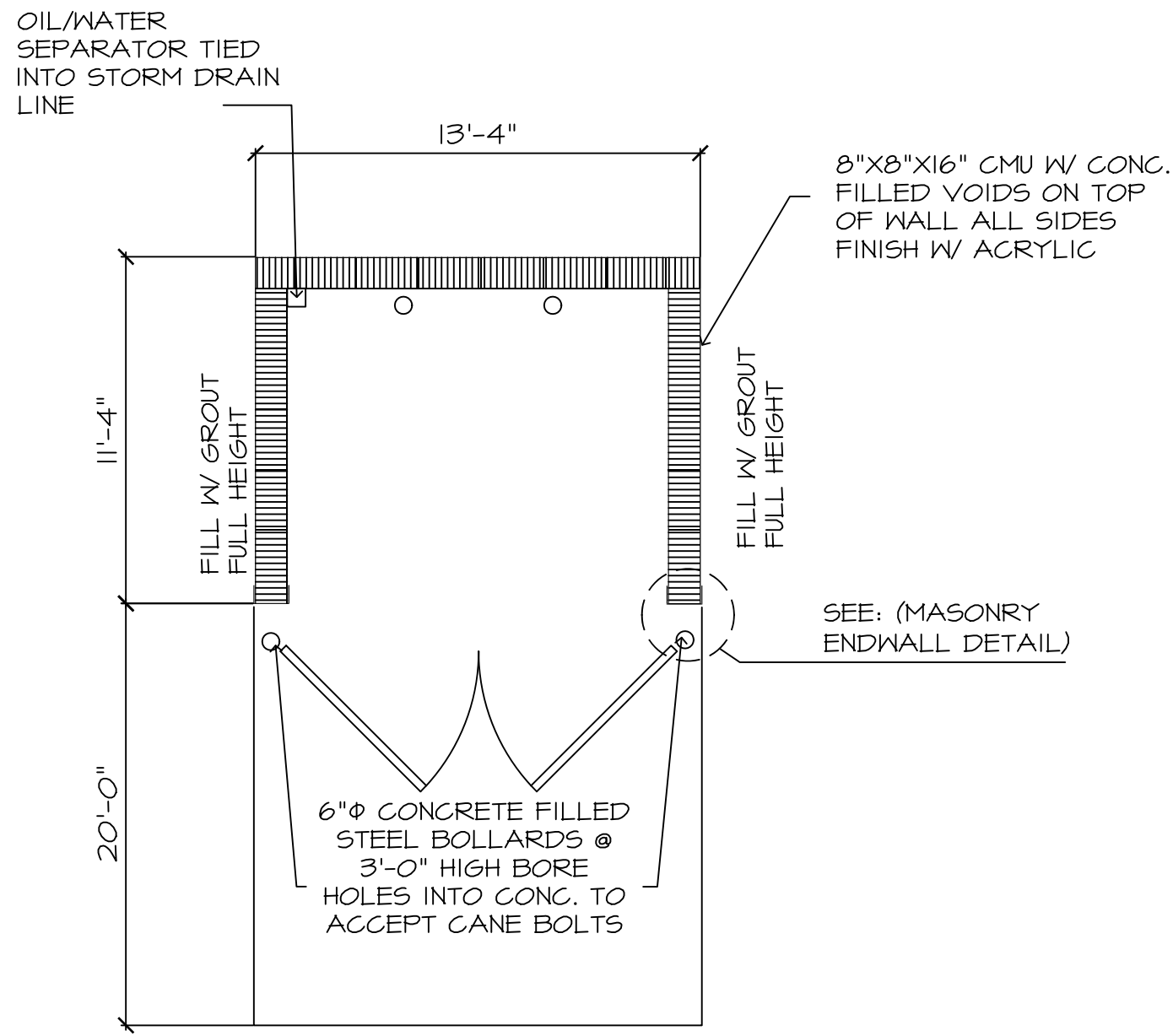
CALC-0242-SKYRIDGE RETAIL-ROCKWALL-TX

DESIGNED BY:	DJT
REVISIONS	
-	
-	
DATE:	8/27/2025

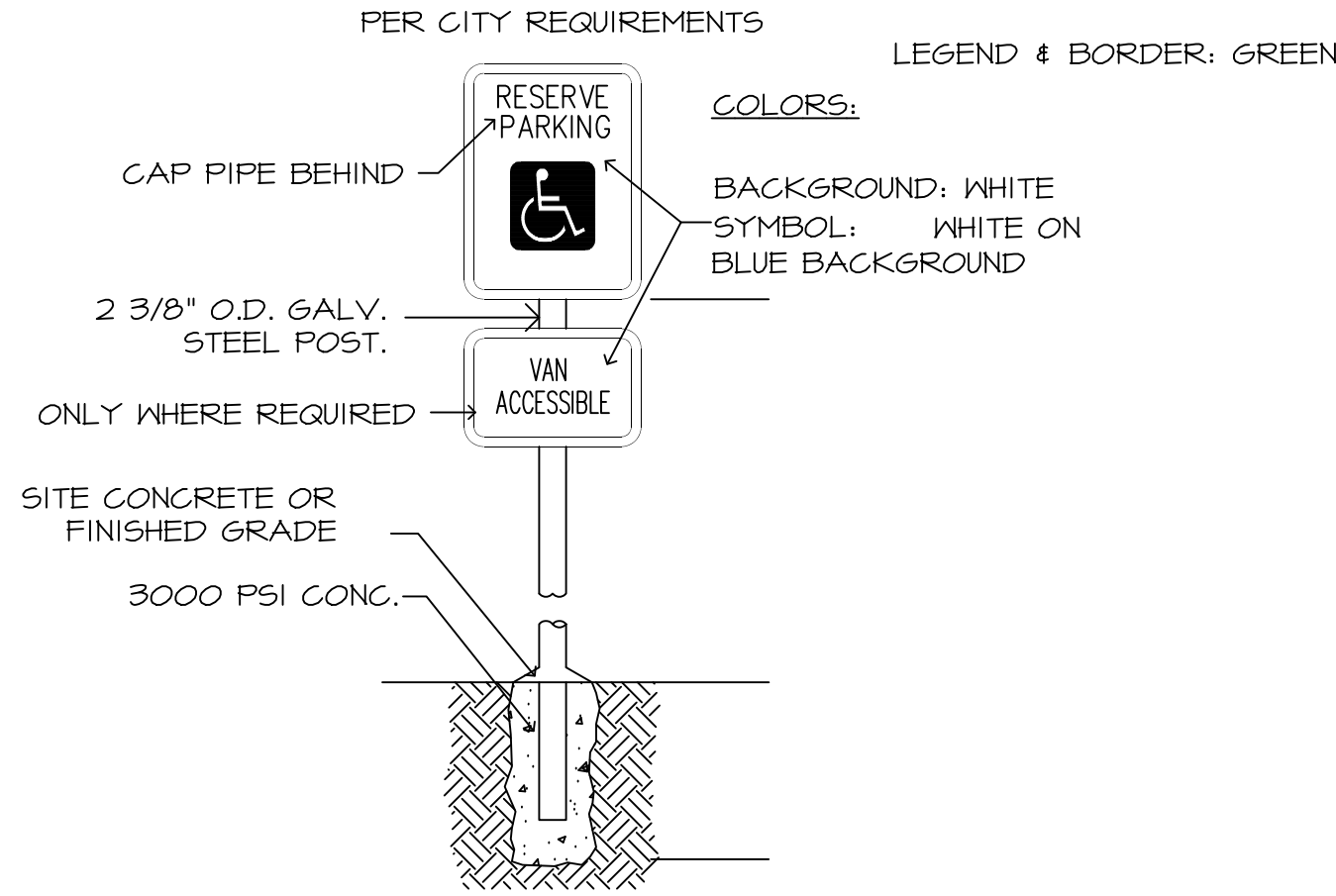
Aug 28/2025 10:14am hengz
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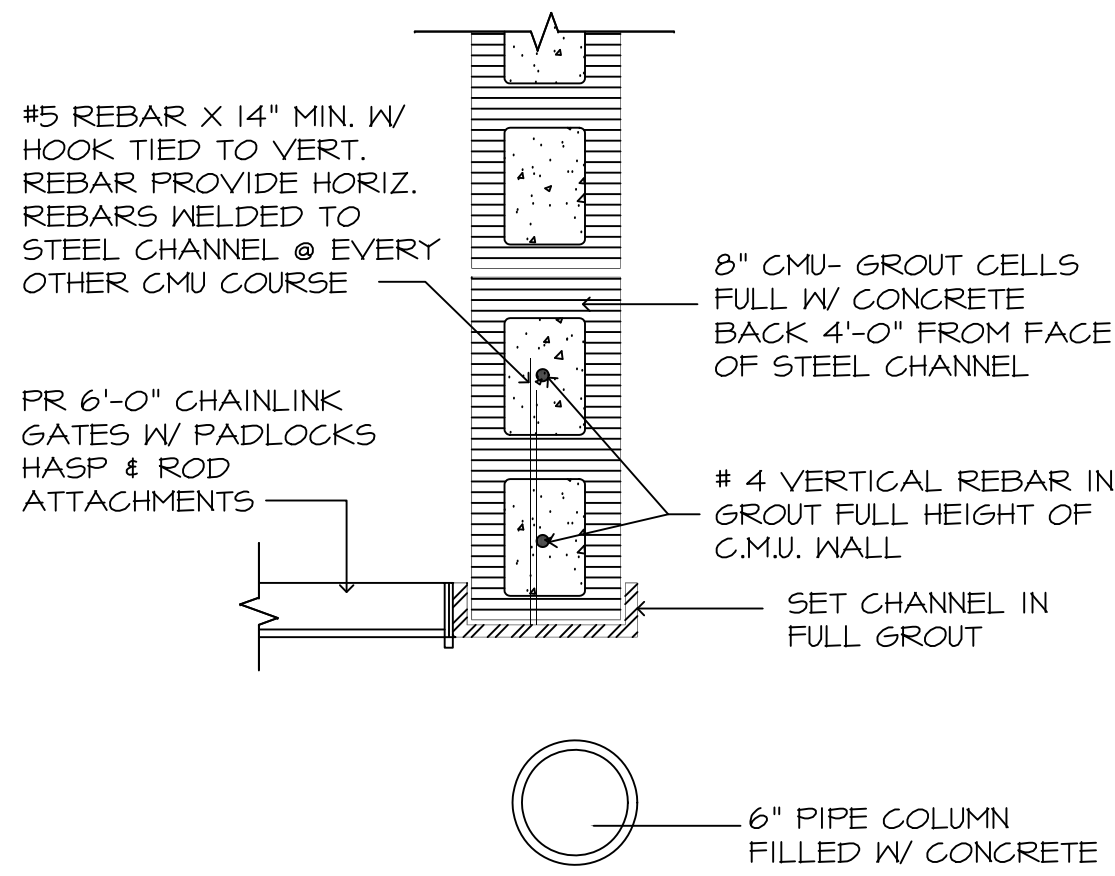
DETAIL - HANDICAP PARKING GRAPHICS
SCALE: NONE



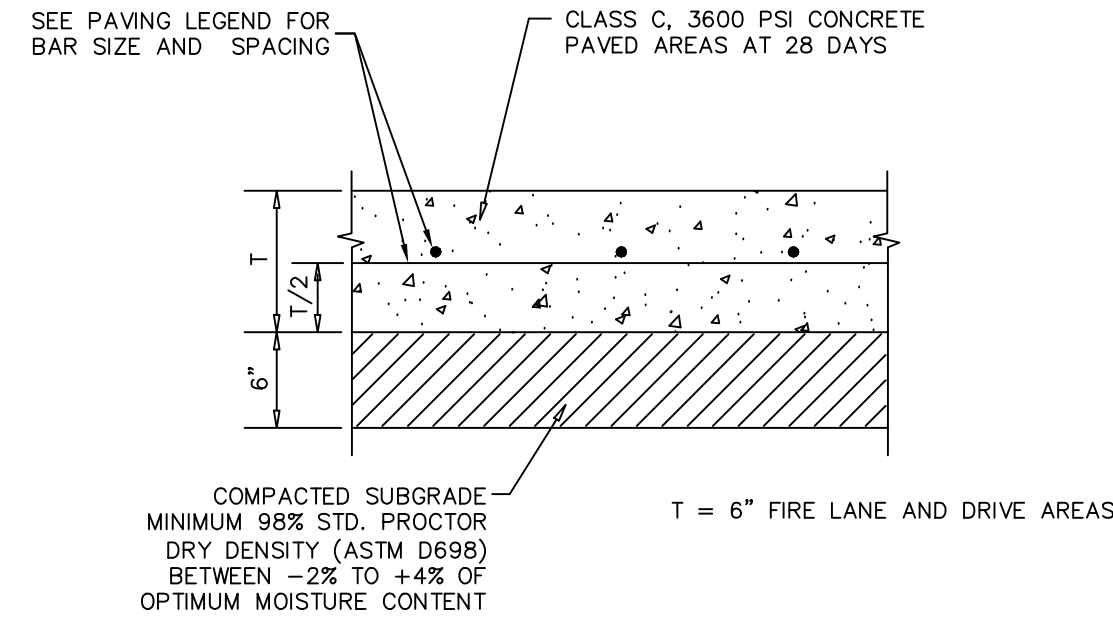
TRASH ENCLOSURE PLAN
SCALE: NONE



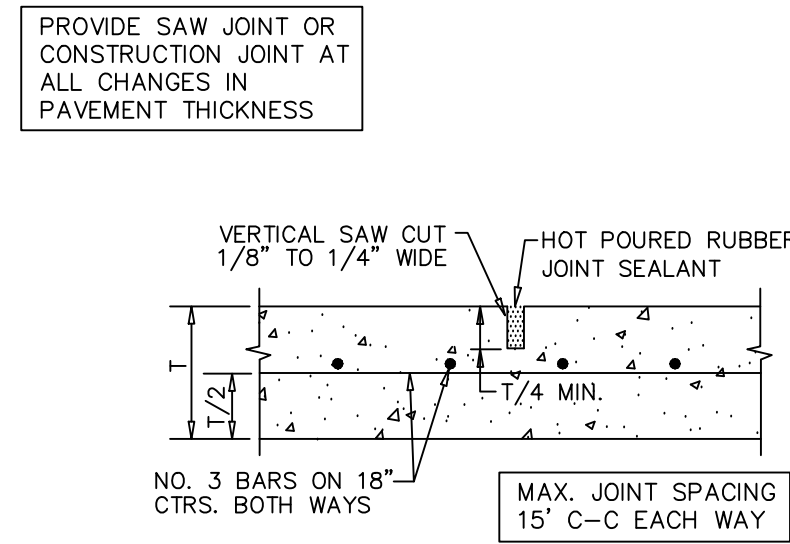
DETAIL - HANDICAP SIGN
SCALE: NONE



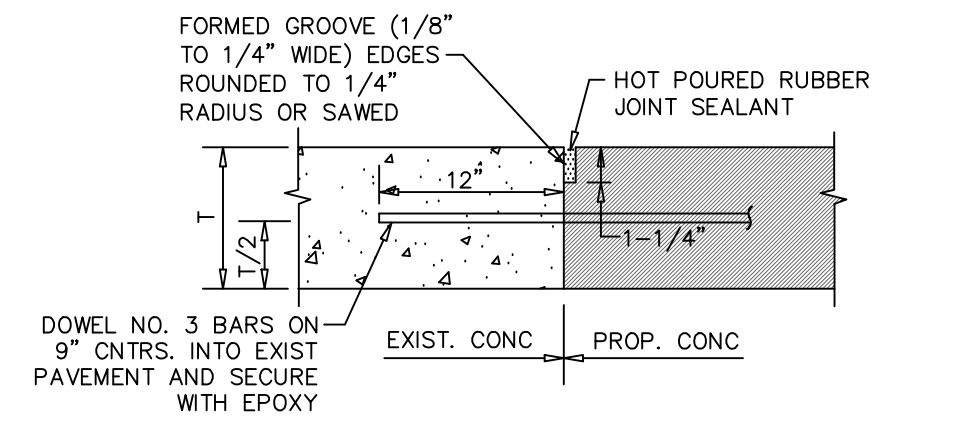
MASONRY ENDWALL DETAIL
SCALE: NONE



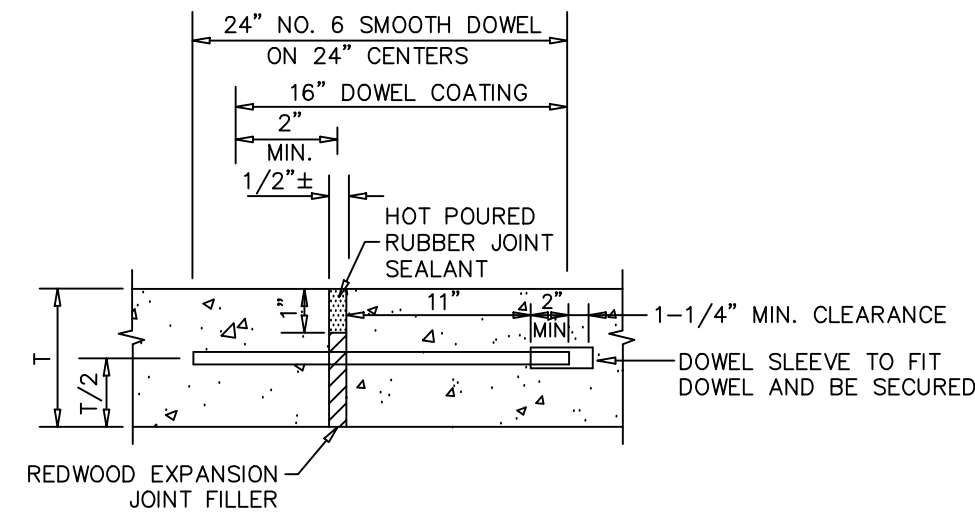
1 PAVEMENT SECTION
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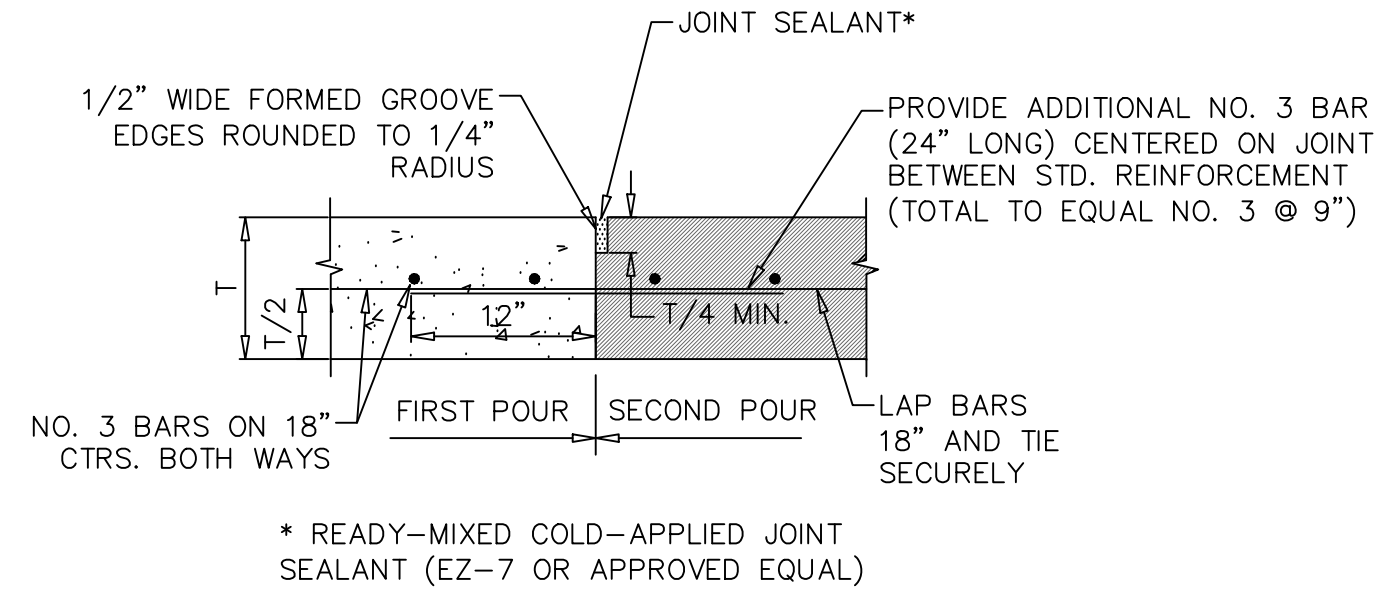
2 SAWED DUMMY JOINT
NOT TO SCALE



3 PAVEMENT CONNECTION
NOT TO SCALE



4 EXPANSION JOINT
NOT TO SCALE



5 CONSTRUCTION JOINT
NOT TO SCALE

Henry Nguyen Consulting, LLC
Civil Engineering
1330 Glenfield Ave, Dallas, Texas 75224
(214) 773-4075 Email: henguyen@swbell.net
Texas Registered Engineering Firm F-16239

REVISIONS

Approved

Description

Date

SKYRIDGE RETAIL BUILDING

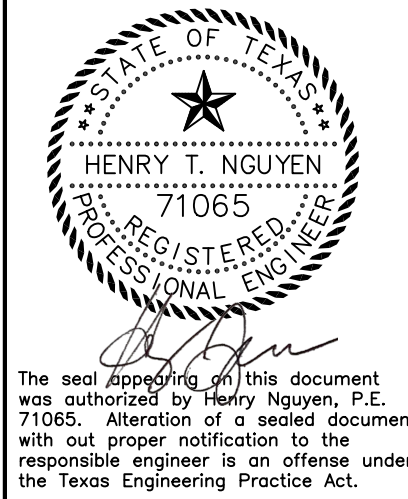
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ROCKWALL, TEXAS 75087

DESIGN HNC

DRAWN HNC

DATE 08/28/2025

Job#: 25001



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SITE DETAILS

C8.1



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION CASE MEMO

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission
DATE: January 13, 2026
APPLICANT: Jonathan Hake, *Cross Engineering Consultants, Inc.*
CASE NUMBER: SP2025-043; Site Plan for an *Office Building* and a *Restaurant*

SUMMARY

Discuss and consider a request by Jonathan Hake of Cross Engineering Consultants, Inc. on behalf of Clay Shipman of Shipman Fire Protection for the approval of a Site Plan for an *Office Building* and *Restaurant* on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lot 19, Block A, La Jolla Pointe Addition and Lot 10, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1010-1100 La Jolla Pointe Drive, and take any action necessary.

BACKGROUND

The subject property was annexed by the City Council on November 7, 1960 by *Ordinance No. 60-04 [Case No. A1960-002]*. At the time of annexation, the subject property was zoned Agricultural (AG) District. At some point between the time of annexation and January 3, 1972, the subject property was rezoned from an Agricultural (AG) District to a Commercial (C) District. On July 17, 2018, the City Council approved a site plan [*i.e. Case No. SP2018-016*] for the subject property depicting the location of a three (3) story office building and one (1) story garage. On December 3, 2018, the City Council approved a replat [*Case No. P2018-039*] for the subject property creating Lot 3, Block A, La Jolla Pointe Addition, Phase 2. According to the Rockwall Central Appraisal District (RCAD), there is a three (3) story office building and a 1,116 SF parking garage, that were constructed in 2019, situated on the subject property. Since 2019, the subject property has remained the same. On November 3, 2025, the City Council approved a Specific Use Permit (SUP) [*i.e. Case No. Z2025-064*] to allow a structure that exceeds 60-feet in height in a Commercial (C) District.

PURPOSE

On September 12, 2025, the applicant -- Jonathan Hake, *Cross Engineering Consultants, Inc.* -- submitted an application requesting a *Site Plan* for an *Office Building* and *Restaurant* on the subject property.

ADJACENT LAND USES AND ACCESS

The subject property is addressed as 1010-1100 La Jolla Pointe Drive. The land uses adjacent to the subject property are as follows:

North: Directly north of the subject property is La Jolla Pointe Drive, which is identified as a *Minor Collector* on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the *Union Pacific/Dallas Garland NE Railroad*. North of this right-of-way is Phase 3 of the Lakeside Village Subdivision, which consists of 118 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses.

South: Directly south of the subject property is a 4.584-acre parcel of land (*i.e. Lot 22, Block A, La Jolla Pointe Addition*), which is zoned Commercial (C) District and is currently vacant. Beyond this are several parcels of land developed with restaurants (*i.e. Steak N Shake, IHOP, Waffle House, Velvet Taco, and Snuffers*) that are zoned Commercial

(C) District. South of these parcels is the westbound frontage road of IH-30, followed by the main lanes of IH-30, and the eastbound frontage road for IH-30.

East: Directly east of the subject property is a 4.584-acre parcel of land (i.e. Lot 22, Block A, La Jolla Pointe Addition) which is zoned Commercial (C) District and is currently vacant. Beyond this is a 5.657-acre parcel of land (i.e. Lot 23, Block A, La Jolla Pointe Addition), which is zoned Commercial (C) District and is currently vacant. East of this parcel are three (3) parcels of land developed with Office Buildings (i.e. Ebby Halliday, Allstate, Epstein & Kolacz) and zoned Commercial (C) District. Beyond this is Ridge Road, which is identified as a A4D (i.e. major arterial, four [4] lane, divided roadway) on the Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan.

West: Directly west of the subject property is La Jolla Pointe Drive, which is identified as a Minor Collector on Master Thoroughfare Plan contained in the OURHometown Vision 2040 Comprehensive Plan. Beyond this is a 100-foot right-of-way owned by the Union Pacific/Dallas Garland NE Railroad. Following this is Phase 3 of the Lakeside Village Subdivision, which consists of 118 single-family residential lots. This subdivision was established in 1972 and is zoned Planned Development District 2 (PD-2) for single-family residential land uses. Beyond that is the take line for Lake Ray Hubbard which is zoned Agricultural (AG) District, followed by the corporate city limits for the City of Rockwall.

DENSITY AND DIMENSIONAL REQUIREMENTS

According to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC), an *Office Building* and *Restaurant without Drive-Through or Drive-In* are a permitted *by-right* land use in a Commercial (C) District. The submitted site plan, landscape plan, photometric plan, and building elevations generally conform to the technical requirements contained within the Unified Development Code (UDC) for a property that is zoned Commercial (C) District with the exception of the items noted in the *Variances and Exceptions Requested by the Applicant* section of this case memo. A summary of the density and dimensional requirements for the subject property are as follows:

<i>Ordinance Provisions</i>	<i>Zoning District Standards</i>	<i>Conformance to the Standards</i>
<i>Minimum Lot Area</i>	10,000 SF	X=5.104-acres; In Conformance
<i>Minimum Lot Frontage</i>	60-Feet	X= 214.02-feet; In Conformance
<i>Minimum Lot Depth</i>	100-Feet	X=169.92-feet; In Conformance
<i>Minimum Front Yard Setback</i>	15-Feet	X>15-feet; In Conformance
<i>Minimum Rear Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Minimum Side Yard Setback</i>	10-Feet	X>10-feet; In Conformance
<i>Maximum Building Height</i>	60-Feet; 91-feet by S-385	X≅91-feet; In Conformance
<i>Max Building/Lot Coverage</i>	60%	X≅31%; In Conformance
<i>Minimum Number of Parking Spaces</i>	Office Building: 1 Parking Space/300 SF = 63 Parking Spaces	X=99; In Conformance
	Restaurant: 1 Parking Space/100 SF = 35 Parking Spaces	
	Total Additional Parking Required = 98	
<i>Minimum Landscaping Percentage</i>	20%	X≅62.6%; In Conformance
<i>Maximum Impervious Coverage</i>	85-90%	X≅37.4%; In Conformance

TREESCAPE PLAN

The Treescape Plan submitted by the applicant indicates the removal of 473 caliper inches of trees from the subject property as part of the proposed development. To offset the proposed tree removal, the applicant's landscape plan provides for the installation of 119 canopy trees, each being a minimum of four (4) caliper inches in size, which totals 476 caliper inches of tree being added to the subject property. Based on this, the proposed landscape plan meets the mitigation requirements of the Unified Development Code (UDC).

CONFORMANCE WITH THE CITY'S CODES

According to Subsection 02.02(D)(2), *Office or Medical Office Building*, of Article 13, *Definitions*, of the Unified Development Code (UDC) an *Office Building* is defined as “(a) facility that provides executive, management, administrative, or professional services not specifically listed elsewhere in Section 01, Land Use Schedule, of Article 04, Permissible Uses, but not involving the sale of merchandise except as incidental to a permitted use. Typical examples include real estate, insurance, property management, investment, employment, travel, advertising, law, architecture, design, engineering, accounting, call centers, and similar offices. Accessory uses may include cafeterias, health facilities, parking, or other amenities primarily for the use of employees in the firm or building.” In this case, the applicant is requesting an *Office Building*, which is permitted *by-right* according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

According to Subsection 02.02(F)(30), *Restaurant without Drive Through or Drive In*, of Article 13, *Definitions*, of the Unified Development Code (UDC) a *Restaurant without Drive Through or Drive In* is defined as “(a) place of business whose primary source of revenue is derived from the sale of prepared food to the general public for consumption on-premise or off-premise and does not provide facilities that allow the serving and consumption of food in personal vehicles on or near the restaurant premises. The term shall not include a bakery, pastry shop, meat market, or ice cream parlor if on-premises consumption of food is not allowed.” In this case, the applicant is requesting a *Restaurant without Drive Through or Drive In*, which is permitted *by-right* according to Section 01, *Land Use Schedule*, of Article 04, *Permissible Uses*, of the Unified Development Code (UDC).

The proposed site plan also generally conforms to the requirements of the *General Commercial District Standards* as stipulated by Article 05, *District Development Standards*, of the Unified Development Code (UDC), excluding the exception being requested as outlined in the *Variances and Exceptions Requested by the Applicant* section of this case memo.

VARIANCES AND EXCEPTIONS BY THE APPLICANT

As stated above, the applicant's request conforms to the majority of the City's codes; however, staff has identified the following exception:

- (1) 20% Stone Requirement. According to Subsection 01.02(C)(a)(1), *General Overlay District Standards*, of Article 05, *District Development Standards*, of the Unified Development Code (UDC), “(a) minimum of 20% natural or quarried stone is required on all building façades...” In this case, the office building and coffee shop show less than 20% stone on the buildings; however, staff should point out that the design scheme is consistent with the existing building on the subject property.

According to Subsection 09.01, *Exceptions to the General Standards*, of Article 11, *Development Applications and Review Procedures*, of the Unified Development Code (UDC), “...an applicant may request the Planning and Zoning Commission grant a variance to the provisions contained in the Unified Development Code (UDC), where unique or extraordinary conditions exist or where strict adherence to the technical requirements of the Unified Development Code would create an undue hardship.” In addition, the code requires that the applicant provide compensatory measures that directly offset the requested exceptions. As compensatory measures for this case, the applicant has provided a letter outlining the following compensatory measures: [1] 100.00% masonry, [2] 62.60% landscaped area (i.e. an increase of 42.60% over the required 20.00%), [3] additional parking spaces, and [4] an outdoor patio space. With this being said, requests for exceptions to the *General Commercial District Standards* are discretionary decisions for the Planning and Zoning Commission. Staff should note that a supermajority vote (e.g. six [6] out of the seven [7] commissioners) -- with a minimum of four (4) votes in the affirmative -- is required for the approval of a variance or exception.

OURHOMETOWN VISION 2040 COMPREHENSIVE PLAN

According to the *Future Land Use Plan* contained in the OURHometown Vision 2040 Comprehensive Plan, the subject property is situated within the IH-30 Corridor District. All of the property located within the IH-30 Corridor District is designated for the Special Commercial (SC) Corridor land use. The OURHometown Vision 2040 Comprehensive Plan describes the Special Commercial (SC) Corridor as being reserved for *Regional Centers*, which are described as being one (1) of the following four (4) models: *Strip Retail Center*, *Mixed-Use Center*, *Town Center*, or *Regional Designation Center*; however, the *Primary Land Uses* identified for this land use designation include *Corporate Office*. Based on this, the applicant's request is in conformance

with the *Future Land Use Plan*. Staff should also note that the *IH-30 Corridor District* is divided into three (3) *Corridor Zones* (i.e. the *Preservation, Opportunity, and Transitional Zones*). In this case, the subject property is located within a *Transitional Zone*, which is defined as “(a) segment of the existing corridor that is currently underutilized due to incompatible land uses, building design, commercial densities, and/or land uses that do not maximize tax potential.” The subject property is currently vacant and is surrounded by single-story, single-tenant *Office Buildings* and *Restaurants*. Based on this, the proposed future development would appear to better conform to the *IH-30 Corridor Plan* contained in Appendix ‘B’, *Corridor Plans*, of the OURHometown Vision 2040 Comprehensive Plan than the existing development in the area.

ARCHITECTURAL REVIEW BOARD (ARB) RECOMMENDATION

The Architectural Review Board (ARB) will review the building elevations and provide a recommendation to the Planning and Zoning Commission for the January 13, 2026 meeting.

CONDITIONS OF APPROVAL

If the Planning and Zoning Commission chooses to recommend approval of the applicant's request for a Site Plan for an *Office Building* and *Restaurant* on the property, then staff would propose the following conditions of approval:

- (1) All staff comments provided by the Planning, Engineering and Fire Department must be addressed prior to the submittal of engineering plans; and,
- (2) Any construction resulting from the approval of this *Site Plan* shall conform to the requirements set forth by the Unified Development Code (UDC), the International Building Code (IBC), the Rockwall Municipal Code of Ordinances, city adopted engineering and fire codes and with all other applicable regulatory requirements administered and/or enforced by the state and federal government.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: SP2025-043
PROJECT NAME: Site Plan for 1600 La Jolla Pointe Drive
SITE ADDRESS/LOCATIONS: 1600 La Jolla Pointe Drive

CASE CAPTION: Discuss and consider a request by Jonathan Hake of Cross Engineering Consultants, Inc. on behalf of Clay Shipman of Shipman Fire Protection for the approval of a Site Plan for an Office Building and Restaurant on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lot 19, Block A, La Jolla Pointe Addition and Lot 10, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, addressed as 1010-1100 La Jolla Pointe Drive, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/19/2025	Approved w/ Comments

12/19/2025: SP2025-043; Site Plan for 1010-1100 La Jolla Pointe Drive

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This request is for the approval of a Site Plan for an Office Building and Restaurant on a 5.104-acre tract of land identified as Lot 19, Block A, La Jolla Pointe Addition and Lot 19, Block A, La Jolla Pointe Addition and Lot 10, Block A, La Jolla Pointe, Phase 2 Addition, City of Rockwall, Rockwall County, Texas, zoned Commercial (C) District, situated within the Scenic Overlay (SOV) and IH-30 Overlay (IH-30 OV) District, and addressed as 1010-1100 La Jolla Pointe Drive.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-043) in the lower right-hand corner of all pages on future submittals.

M.4 Site Plan.

(1) Pad mounted utility equipment, and air conditioning units, shall be screened from horizontal view from any adjacent public street and from any adjacent property. Utility equipment and air conditioning units shall be screened utilizing plantings berms, or walls matching the main structure. (Subsection 01.05.C, Article 05, of the UDC) Please indicate on your site plan if there are any pad mounted utility equipment. Utility equipment will be subject to screening if found later at engineering or building permit.

(2) The loading zone cannot be placed within the right-of-way of Carmel Circle.

M.5 Building Elevations.

(1) For uniformity, please provide windows on the middle of the second floor on the front façade of the coffee shop. Staff will be making this recommendation to the Architectural Review Board (ARB).

(2) The buildings are cohesive with the existing buildings onsite. With the exception of the proposed coffee shop that is utilizing wood materials. Staff suggests replacing the wood material with the cast stone use on the proposed coffee shop building.

(3) Dash in the RTUs on the building elevations. RTUs will need to be screened from any view of the building.

(4) A minimum of 20% natural or quarried stone is required on all building façades. (Subsection 06.01(C)a.1, Article 05, UDC). This will require a variance from the Planning and Zoning Commission.

(5) The proposed office buildings' facades do not meet the Commercial Building Articulation Standards for wall projections. (Subsection 04.01.C, of Article 05, of the UDC) This will require an exception from the Planning and Zoning Commission.

M.6 Based on the materials submitted staff has identified the following exceptions and variances for this project:

(1) Primary and Secondary Articulation.

(2) 20% Stone Requirement

M.7 According to Article 11, Development Application and Review Procedures, of the Unified Development Code (UDC), two (2) compensatory measure for each exception or variance is required. In order to request an exception, the applicant will need to provide a letter outlining the requested exceptions and subsequent two (2) compensatory measures for each exception or variance. (Subsection 09.02, of Article 11, of the UDC). Compensatory measures to consider:

- 1) 100% masonry materials (This is currently being met on the proposed office building and could be met on the proposed coffee shop if the wood material is replaced with cast stone.)
- 2) Additional Landscaping (This is currently being met)
- 3) Additional Parking Spaces (This is currently being met.)

M.8 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 6, 2026; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 13, 2026 Planning & Zoning Meeting.

I.9 Please note the scheduled meetings for this case:

- (1) Planning & Zoning meeting/public hearing meeting will be held on January 13, 2026.

I.10 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved w/ Comments

- 12/18/2025: 1. Need this no parking turn around area to be striped with "no parking" sign. Must be min 15' wide.
2. No loading zones in public ROW.
 3. Complete the 41' B-B paving (approx. 17') to property line with the full cul-de-sac.
 4. Need to install sidewalk around cul-de-sac to property line.
 5. Cul-de-sac must meet City requirements...ROW radius of 57.5' and paving has a radius of 47.5'.
 6. 5' sidewalk, 3' from back of curb.
 7. Parallel parking are minimum 22'x9'
 8. 8'

General Comments:

General Items:

- Must meet City 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees (Public Improvements)
- Impact Fees (Water, Sewer, Roadway).
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
- All utilities must be underground.
- No structures or fences with easements.
- No signage is allowed within easements or ROW.
- Tree mitigation will be required when removing existing trees on the property.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering Design.

Drainage Items:

- Detention has already been provided with this site.
- Existing flow patterns must be maintained. Site must outfall into the existing drainage ditch located on the north side of the property which ultimately drains to the existing wye inlet for site north of street. Caramel must follow flow must drain to ex. detention pond. Areas south of street must match Hyatt of Rockwall's drainage patterns and storm systems.
- Drainage may not be increased towards any direction.

- Grate inlets are not allowed.
- Dumpster areas to drain to oil/water separator and then to the storm lines.
- The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- There is an existing 12" water main along La Jolla Pointe Drive available for use.
- There is an existing 10" sewer main along La Jolla Pointe Drive available for use.
- Public sewer to be 8" minimum.
- Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- Min 20' utility easements.
- All public utilities must be centered in easement.
- Water to be 10' separated from storm and sewer lines.

Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. (No rock, gravel, or asphalt allowed).
- All Parking to be 20'x9' minimum. Parking may not be off a public roadway. Vehicle must not be required to back onto a public roadway, including trash trucks.
- No dead-end parking allowed without an City approved turnaround.
- Drive isles to be 24' wide.
- Fire lane to be 24' wide and in a platted easement.
- Fire lane to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Needs Review

12/17/2025: Fire Department Access:

Provide confirmation that the existing fire lane exiting radius meets the minimum 30-foot turning radius required for aerial apparatus access.

Fire Department Connection (FDC):

Clearly indicate the location of the Fire Department Connection (FDC) on the site plan. The FDC shall be:

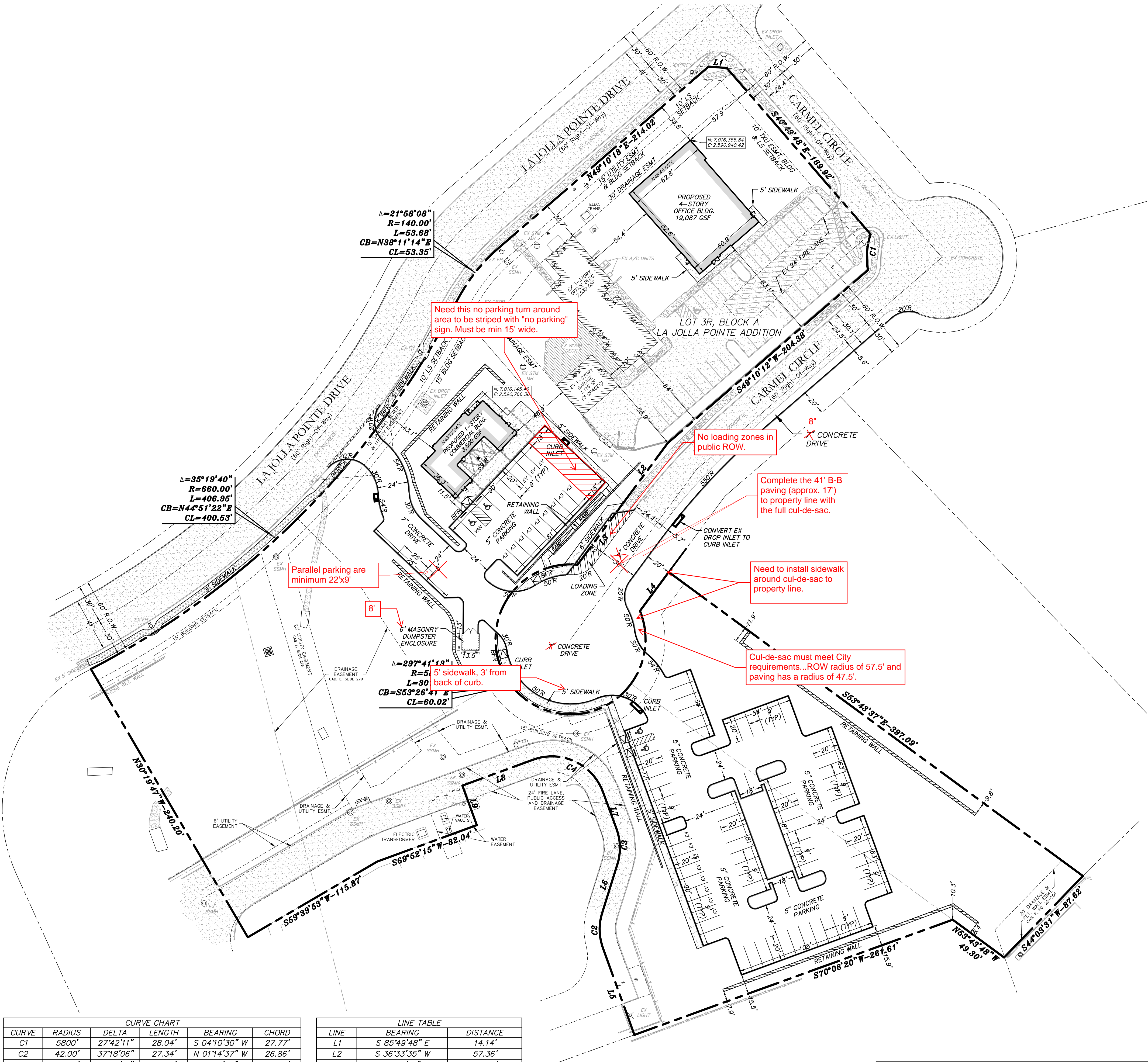
Readily visible and accessible from the fire lane or street

Located within 100 feet of an approved fire hydrant and within 50 feet of fire lane or street

Installed on the street side of the building or fire lane side, as applicable

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

GIS	Lance Singleton	12/15/2025	Approved w/ Comments
12/15/2025: New Addresses will be:			
19087 GSF Building = 1010 La Jolla Pointe Dr, Rockwall, TX 75087			
3500 GSF Building = 1100 La Jolla Pointe Dr, Rockwall, TX 75087			
North Parking & Meter = 1100 La Jolla Pointe Dr, #B, Rockwall, TX 75087			
South Parking & Meter = 1090 Carmel Circle, Rockwall, TX 75087			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/15/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved
No Comments			



CURVE CHART				
CURVE	RADIUS	DELTA	LENGTH	BEARING
C1	5800'	27°42'11"	28.04'	S 04°10'30" W
C2	42.00'	37°18'06"	27.34'	N 01°14'37" W
C3	42.00'	37°32'11"	27.52'	N 01°21'39" W
C4	42.00'	90°00'11"	65.98'	N 65°07'40" W

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 85°49'48" E	14.14'
L2	S 36°33'35" W	57.36'
L3	S 36°33'10" W	59.78'
L4	N 36°33'10" E	37.33'
L5	N 19°53'40" W	71.61'
L6	N 17°24'26" E	39.61'
L7	N 20°07'45" W	30.65'
L8	S 69°52'15" W	58.34'
L9	S 20°07'45" E	32.50'

- General Items:**
- Must meet City 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees (Public Improvements)
 - Impact Fees (Water, Sewer, Roadway).
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock or stone face. No smooth concrete walls.
 - All utilities must be underground.
 - No structures or fences with easements.
 - No signage is allowed within easements or ROW.
 - Tree mitigation will be required when removing existing trees on the property.
 - Need to show existing and proposed utilities on the Site Plan.
 - Additional comments may be provided at time of Site Plan and Engineering Design.

- Drainage Items:**
- Detention has already been provided with this site.
 - Existing flow patterns must be maintained. Site must outfall into the existing drainage ditch located on the north side of the property which ultimately drains to the existing wye inlet for site north of street. Carmel must follow flow must drain to ex. detention pond. Areas south of street must match Hyatt of Rockwall's drainage patterns and storm systems.
 - Drainage may not be increased towards any direction.
 - Grate inlets are not allowed.
 - Dumpster areas to drain to oil/water separator and then to the storm lines.
 - The property owner will be responsible for maintaining, repair, and replacement of the detention/drainage systems.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - There is an existing 12" water main along La Jolla Pointe Drive available for use.
 - There is an existing 10" sewer main along La Jolla Pointe Drive available for use.
 - Public sewer to be 8" minimum.
 - Commercial sanitary sewer service line size is minimum 6" and must connect to an existing or proposed manhole.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - Min 20' utility easements.
 - All public utilities must be centered in easement.
 - Water to be 10' separated from storm and sewer lines.

- Paving Items:**
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- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CROSS
ENGINEERING CONSULTANTS

1720 W. Virginia Street
75069
McKinney, Texas 75069
P.E. Firm No. F-935

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
JONATHAN D. HAKE, P.E.
NO. 94738
ON 12/12/2025.
IT IS NOT TO BE USED
FOR CONSTRUCTION
PURPOSES.

SITE PLAN

SHIPMAN FIRE BUILDING & COFFEE SHOP

1020 LA JOLLA POINTE DRIVE
LOT 3R, BLOCK A - LA JOLLA POINTE ADDITION
WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9
CITY OF ROCKWALL, TEXAS
CASE NO. SP2025-xxx

Sheet No.
SP
Project No.
25078

SURVEYOR:
Shipman Fire Protection
1020 La Jolla Pointe Drive
Rockwall, Texas 75087
Phone (682) 223-1922
Contact: Clay Shipman

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan Hake, P.E.

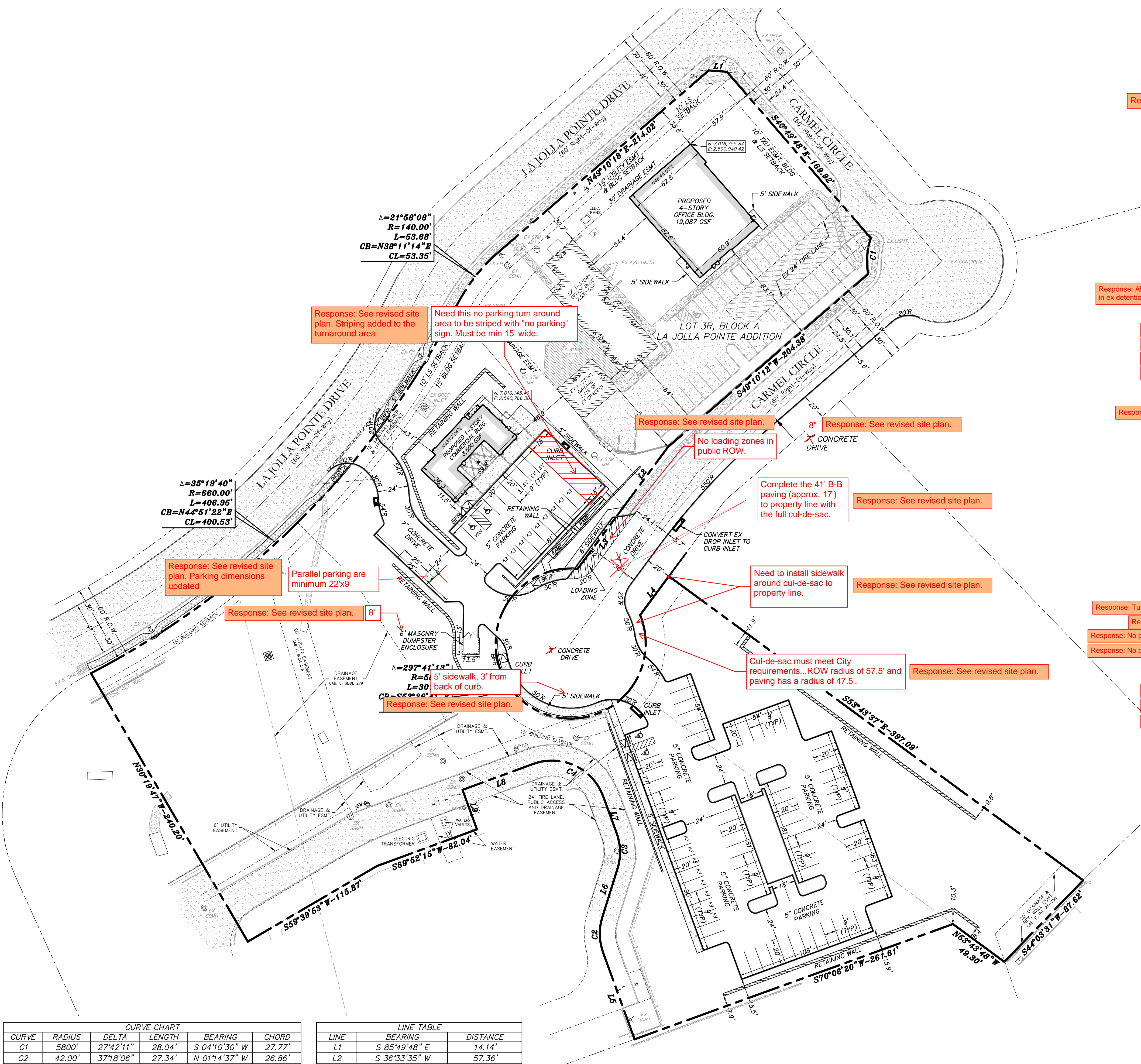
SURVEYOR:
Burns Surveying
2701 Sunset Ridge Dr., Suite 303
Rockwall, Texas 75032
Phone (214) 326-1090
Contact: Barry S. Rhodes

STOP!
CALL BEFORE YOU DIG

PREPARED DATE: 12/12/2025 (@ least 72 hours prior to digging)

CURVE CHART				
CURVE	RADIUS	DELTA	LENGTH	BEARING
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APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

Issue Date	Description
1 12/12/2025	
2	
3	
4	
5	
6	

1720 W. Virginia Street
77256-4409

McKinney, Texas 75069
Texas P.E. Firm No. F-935

THIS DOCUMENT IS RELEASED FOR THE PURPOSE OF INTERIM REVIEW UNDER THE AUTHORITY OF JONATHAN D. HAKE, P.E. NO. 94738 ON 12/12/2025. IT IS NOT TO BE USED FOR CONSTRUCTION PURPOSES.

PREPARED DATE: 12/12/2025

@@ least 72 hours prior to digging)

SITE PLAN

SHIPMAN FIRE BUILDING & COFFEE SHOP

1020 LA JOLLA POINTE DRIVE

LOT 3R, BLOCK A - LA JOLLA POINTE ADDITION

WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9

CITY OF ROCKWALL, TEXAS

CASE NO. SP2025-xxx

Sheet No.

SP

Project No.

25078

Shipman Fire Protection
1020 La Jolla Pointe Drive
Rockwall, Texas 75087
Phone (682) 223-1922
Contact: Clay Shipman

ENGINEER:
Cross Engineering Consultants, Inc.
1720 W. Virginia St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan Hake, P.E.

SURVEYOR:
Burns Surveying
2701 Sunset Ridge Dr., Suite 303
Rockwall, Texas 75032
Phone (214) 326-1090
Contact: Barry S. Rhodes





DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 16001 La Jolla Point Drive

SUBDIVISION La Jolla Pointe Addition

LOT

3R

BLOCK

A

GENERAL LOCATION Intersection of La Jolla Pointe Drive and Carmel Circle

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING C - Commercial

CURRENT USE Office / Undeveloped

PROPOSED ZONING C - Commercial

PROPOSED USE Office & Commercial

ACREAGE 5.108 acres

LOTS [CURRENT]

1

LOTS [PROPOSED]

1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Fire House RE LLC, Shipman Fire Group

☒ APPLICANT Cross Engineering Consultants, Inc.

CONTACT PERSON Clay Shipman

CONTACT PERSON Jonathan Hake, P.E.

ADDRESS 16001 La Jolla Pointe Drive

CITY, STATE & ZIP

PHONE

E-MAIL

NOTARY VERIFICATION [REQUIRED]

BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Clay Shipman [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$352.16 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 1st DAY OF DECEMBER, 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

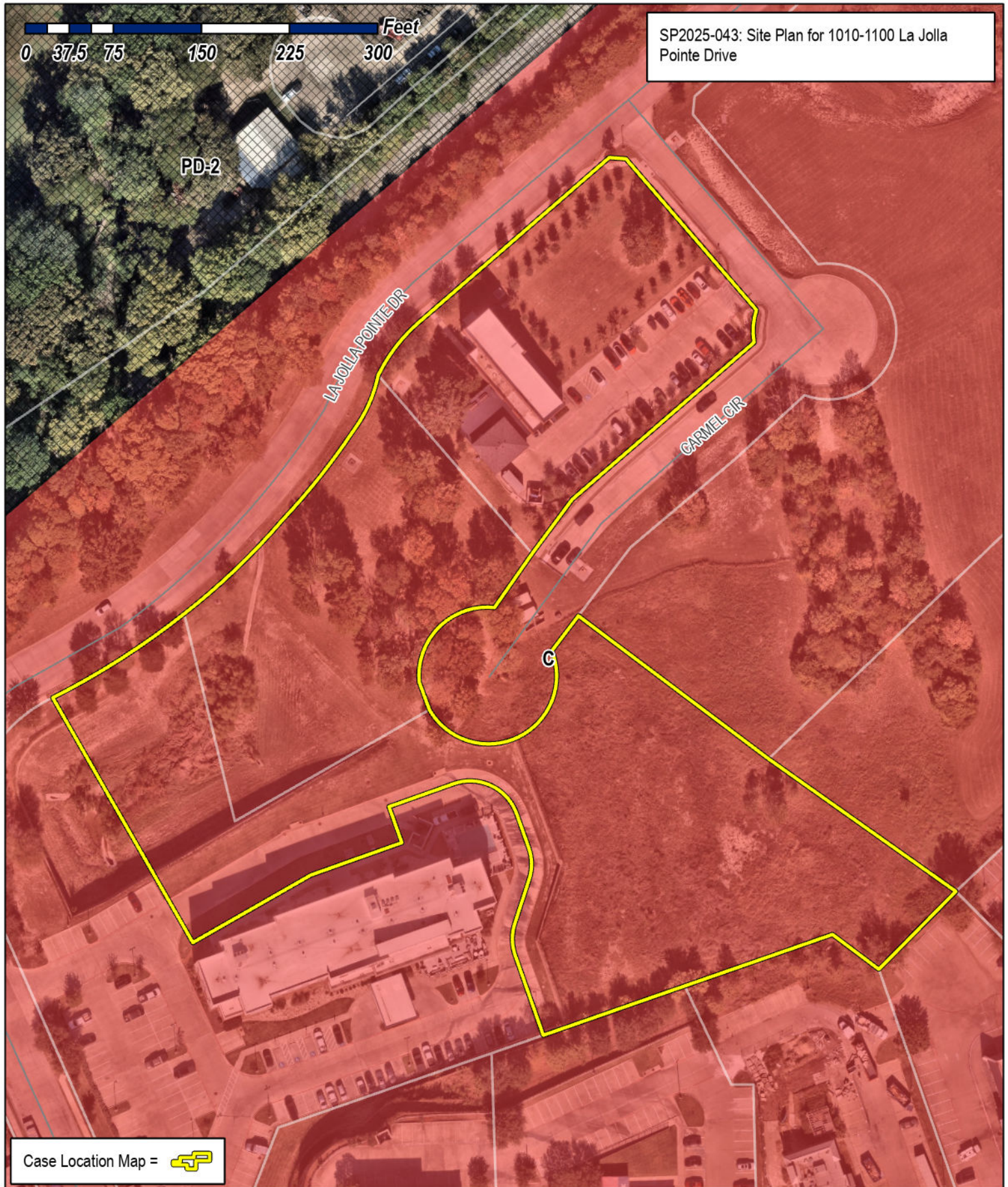
GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 1st DAY OF DECEMBER, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS

Amber Peabody





SP2025-043: Site Plan for 1010-1100 La Jolla
Pointe Drive

Case Location Map = 

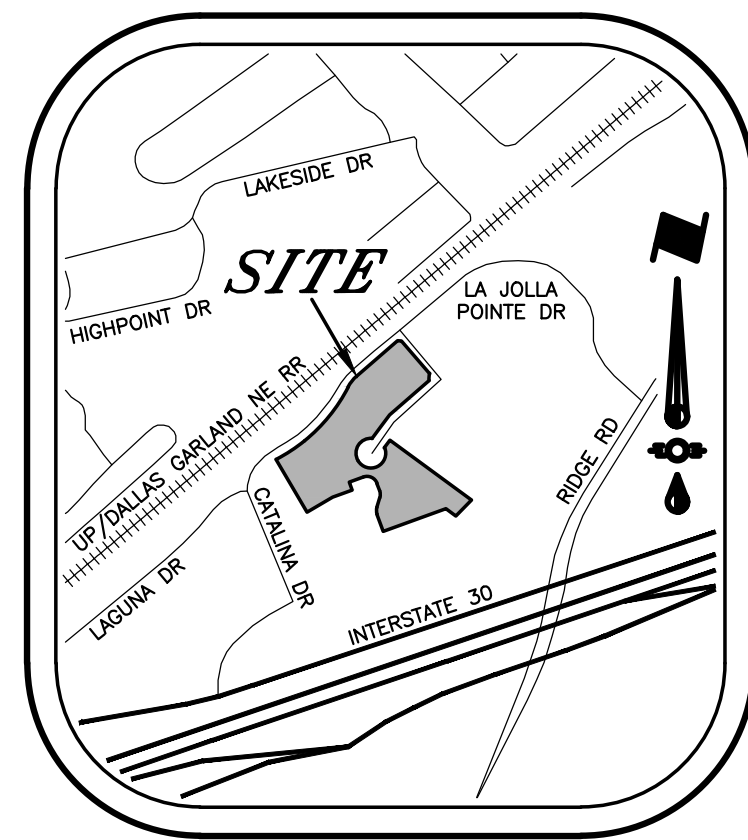
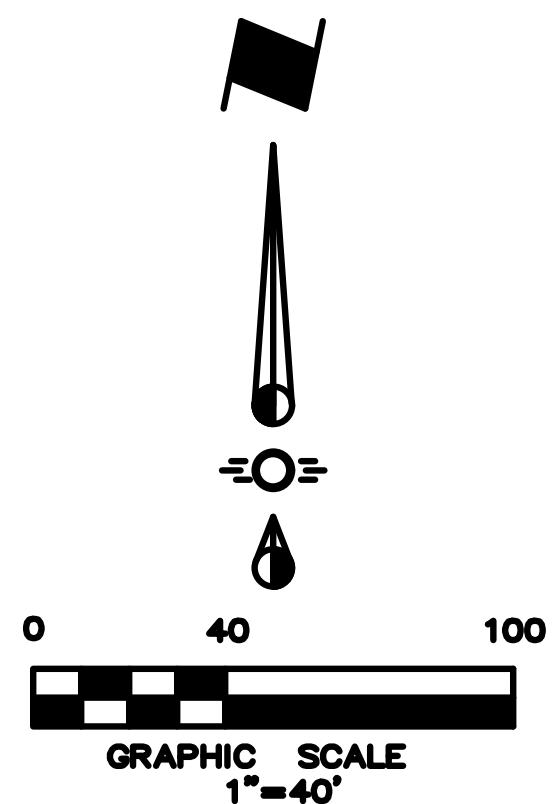


City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



VICINITY MAP
NTS

SITE DATA SUMMARY TABLE

LOT 3R, BLOCK A

LA JOLLA POINTE ADDITION

Zoning:	Commercial	
Proposed Use:	Office/Coffee Shop	
Lot Area:	5.104 Acres	(222,330 SF)
Building Height Information:		
Ex Office	39'	(3-Story)
Ex Garage	25'	(1-Story)
Prop Office	25'	(4-Story)
Prop Coffee Shop	30'	(1-Story)

Building Area:

Footprint / Gross Square Footage (GSF):

Ex Office	3,585	7,530	SF
Ex Garage	1,116	1,116	SF
Prop Office	4,505	19,087	SF
Prop Coffee Shop	3,500	3,500	SF
Total Building Area:	12,706	31,233	SF

Total Coverage:

Floor to Area Ratio (FAR):

Parking Required:

Ex Office	7,530 SF	1/300	26	Spaces
Ex Garage	1,116 SF	1/1000	2	Spaces
Prop Office	19,087 SF	1/300	64	Spaces
Prop Coffee Shop	3,500 SF	1/100	35	Spaces
Outdoor Seating	500 SF	1/100	5	Spaces
Total Parking Required:			132	Spaces

Parking Provided:

Ex Parking	36	Spaces
Prop Parking	99	Spaces
Total Parking Provided:	135	Spaces

ADA Spaces Required

ADA Spaces Provided

Usable Open Space:

Impervious Area:

OWNER:

Shipman Fire Protection
1020 La Jolla Pointe Drive
Rockwall, Texas 75087
Phone (682) 223-1922
Contact: Clay Shipman

ENGINEER:

Cross Engineering Consultants, Inc.
1720 W. Virginia St.
McKinney, Texas 75069
Phone (972) 562-4409
Fax (972) 562-4471
Contact: Jonathan Hake, P.E.

SURVEYOR:

Burns Surveying
2701 Sunset Ridge Dr., Suite 303
Rockwall, Texas 75032
Phone (214) 326-1090
Contact: Barry S. Rhodes

STOP!
CALL BEFORE YOU DIG



(@ least 72 hours prior to digging)

LEGEND

- Ex. Concrete Pavement
- Prop. Conc. Sidewalk (Private)
- Prop. Conc. Sidewalk (Public)
- Loading Space
- Ex. Fire Hydrant
- Wheelstop (Typical)
- BFR Barrier Free Ramp

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

CURVE CHART				
CURVE	RADIUS	DELTA	LENGTH	BEARING
C1	5800'	27°42'11"	28.04'	S 04°10'30" W
C2	42.00'	37°18'06"	27.34'	N 01°14'37" W
C3	42.00'	37°32'11"	27.52'	N 01°21'39" W
C4	42.00'	90°00'11"	65.98'	N 65°07'40" W

LINE TABLE		
LINE	BEARING	DISTANCE
L1	S 85°49'48" E	14.14'
L2	S 36°33'35" W	57.36'
L3	S 36°33'10" W	59.78'
L4	N 36°33'10" E	37.33'
L5	N 19°53'40" W	71.61'
L6	N 17°24'26" E	39.61'
L7	N 20°07'45" W	30.65'
L8	S 69°52'15" W	58.34'
L9	S 20°07'45" E	32.50'

Issue Date	Description
1 12/12/2025	
2 01/06/2026	
3	
4	
5	
6	

CROSS
ENGINEERING CONSULTANTS

1720 W. Virginia Street
972.562.4409

McKinney, Texas 75069
Texas P.E. Firm No. F-5935

THIS DOCUMENT IS
RELEASED FOR THE
PURPOSE OF INTERIM
REVIEW UNDER THE
AUTHORITY OF
JONATHAN D. HAKE, P.E.
NO. 94738
ON 01/06/2026.
IT IS NOT TO BE USED
FOR CONSTRUCTION
PURPOSES.

PREPARED DATE: 01/06/2026

SITE PLAN	
SHIPMAN FIRE BUILDING & COFFEE SHOP	
1020 LA JOLLA POINTE DRIVE LOT 3R, BLOCK A - LA JOLLA POINTE ADDITION WILLIAM BLEVINS SURVEY, ABSTRACT NO. 9 CITY OF ROCKWALL, TEXAS CASE NO. SP2025-043	

Sheet No.

SP

Project No.
25078

12/29/2025 9:13:41 AM



2 WEST SIDE ELEVATION
1/8" = 1'-0"

TOWER TOP
90' - 0 7/8"

TOWER EAVE
81' - 0"
79' - 0"

T.O.S. ROOF
72' - 8"

LEVEL 4
54' - 8"
T.O.S. PATIO
51' - 8"

LEVEL 3
36' - 8"

LEVEL 2
18' - 8"

LEVEL 1
0' - 0"

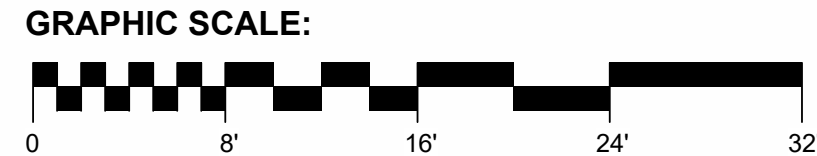
LEVEL 0 - BASEMENT
-12' - 0"

HT. ABOVE FIRE DEPARTMENT ACCESS
18' - 0"
18' - 0"
18' - 8"



1 SOUTH ELEVATION
1/8" = 1'-0"

MATERIAL CALCULATIONS					
NORTH ELEVATION		AREA	%	SOUTH ELEVATION	
MASONRY		5,531		MASONRY	
		5,066	91.6%		
		464	8.4%		
		6,551			
EAST ELEVATION		6,551		WEST ELEVATION	
MASONRY		6,188	94.5%	MASONRY	
		363	5.5%		
		6,016	90.8%		
		609	9.2%		



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.

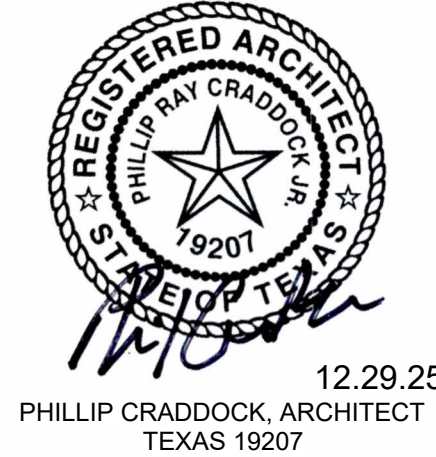
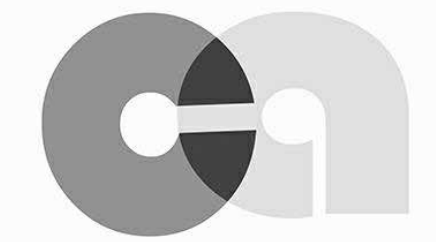
WITNESS OUR HANDS, this ____ day of _____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922

CRADDOCK
ARCHITECTURE

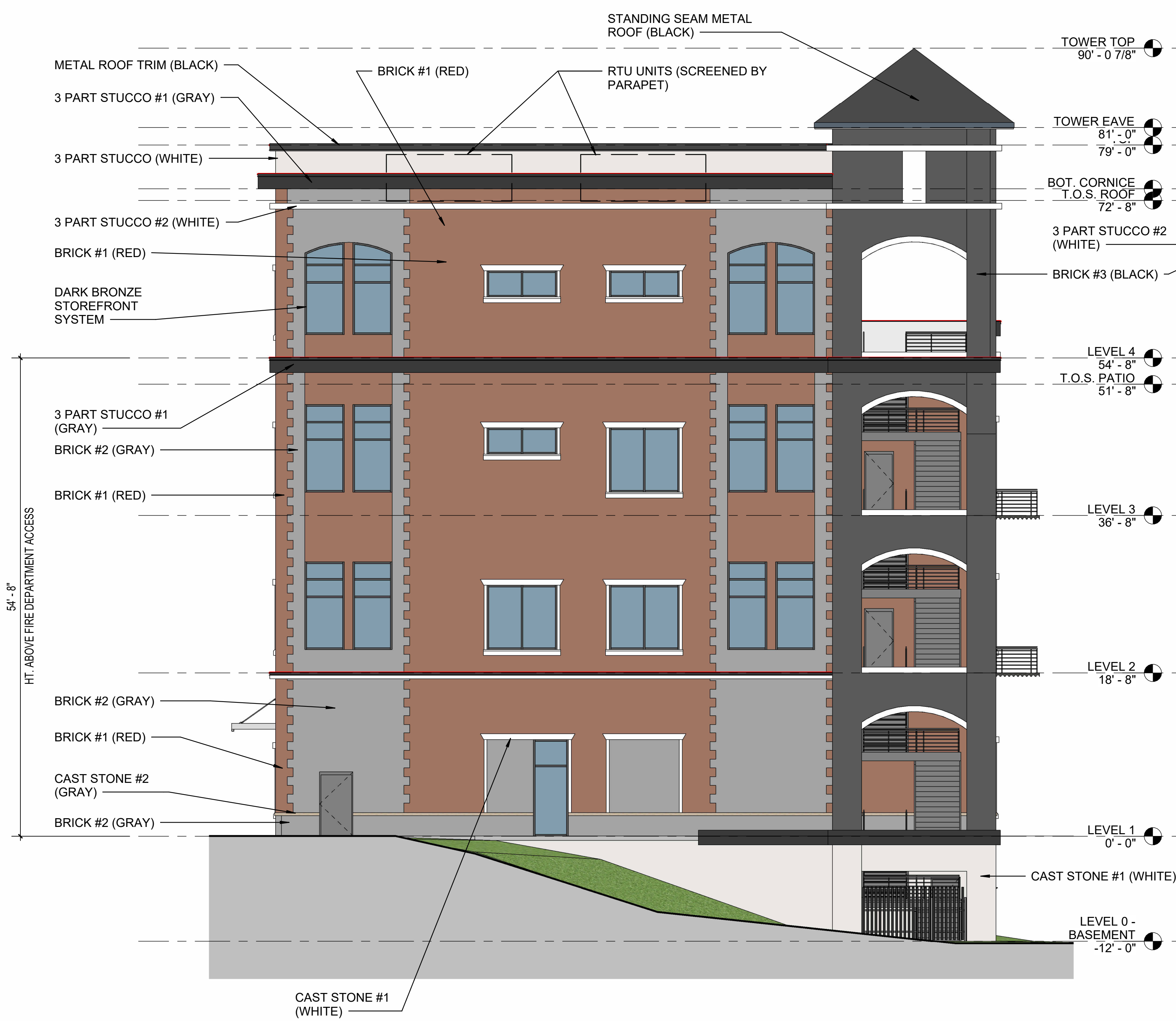


CRADDOCK ARCHITECTURE
551 EMBARGO DR. FATE TEXAS 75189 214-952-0527
SHIPMAN FIRE PROTECTION

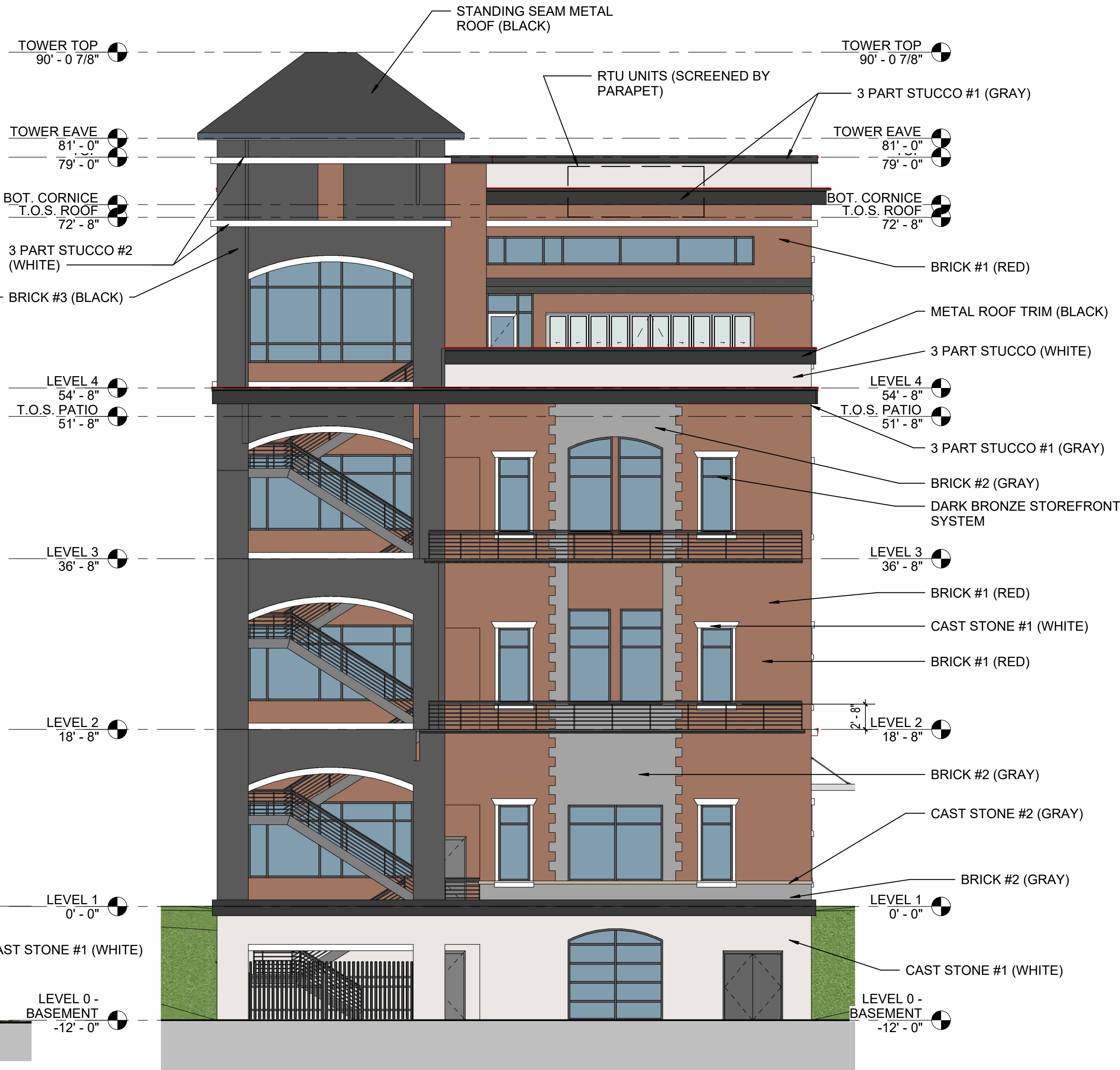
REVISION		
#	Revision Date	Revision Description

NEW OFFICE / STORAGE
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Project number 2024-001 Date 10.14.25
EXTERIOR ELEVATIONS
Scale: As Indicated

A600

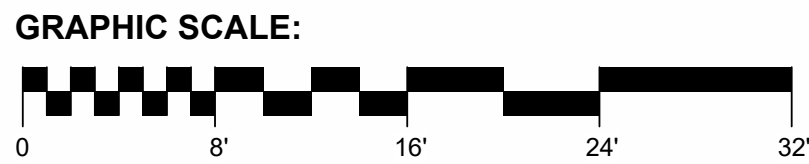


2 EAST SIDE ELEVATION
1/8" = 1'-0"



1 NORTH ELEVATION
1/8" = 1'-0"

MATERIAL CALCULATIONS					
NORTH ELEVATION		AREA	%	SOUTH ELEVATION	
MASONRY		5,531		MASONRY	
BRICK & CAST STONE	BRICK & CAST STONE	5,066	91.6%	BRICK & CAST STONE	4,432
	3 PART STUCCO	464	8.4%		269
EAST ELEVATION		6,551		WEST ELEVATION	
MASONRY		6,188	94.5%	MASONRY	
BRICK & CAST STONE	BRICK & CAST STONE	6,188	94.5%	BRICK & CAST STONE	6,016
	3 PART STUCCO	363	5.5%		609



APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.

WITNESS OUR HANDS, this ____ day of _____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922

CRADDOCK
ARCHITECTURE

12.29.25
PHILLIP CRADDOCK, ARCHITECT
TEXAS 19207

CRADDOCK ARCHITECTURE

551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

SHIPMAN FIRE PROTECTION

REVISION

#	Revision Date	Revision Description
---	---------------	----------------------

NEW OFFICE / STORAGE

1020 La Jolla Pointe Drive
Rockwall, TX 75087

Project number 2024-001 Date 10.14.25

EXTERIOR ELEVATIONS

Scale: As indicated

A601

12/29/2025 9:36:44 AM



2 SOUTH ELEVATION
1/4" = 1'-0"



1 WEST SIDE ELEVATION
1/4" = 1'-0"

MATERIAL CALCS:
100% MASONRY (BRICK AND CAST STONE)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

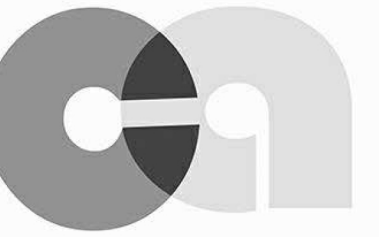
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922

CRADDOCK
ARCHITECTURE



12.29.25
PHILLIP CRADDOCK, ARCHITECT
TEXAS 19207

CRADDOCK ARCHITECTURE
551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

SHIPMAN'S COFFEE

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REVISION		
#	Revision Date	Revision Description

SHIPMAN'S COFFEE
1020 La Jolla Pointe Drive
Rockwall, TX 75087

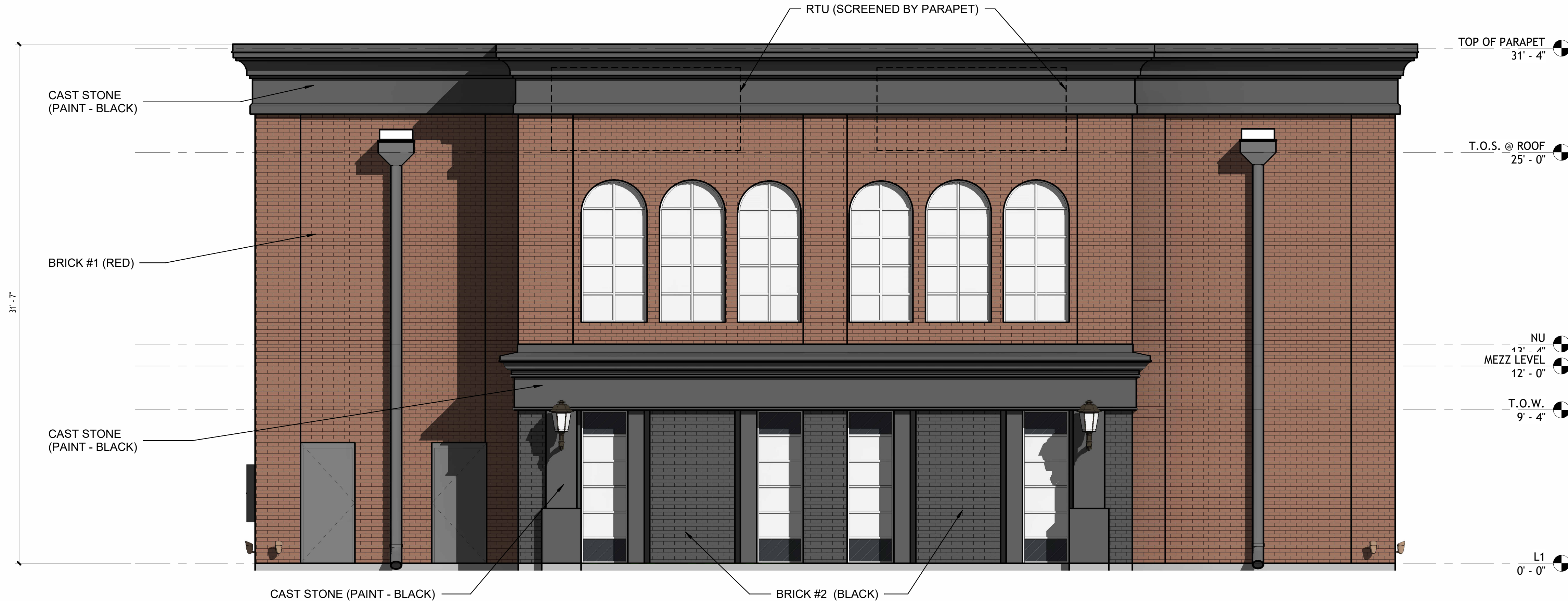
Project number 2024.002 Date 9.5.25

EXTERIOR ELEVATIONS

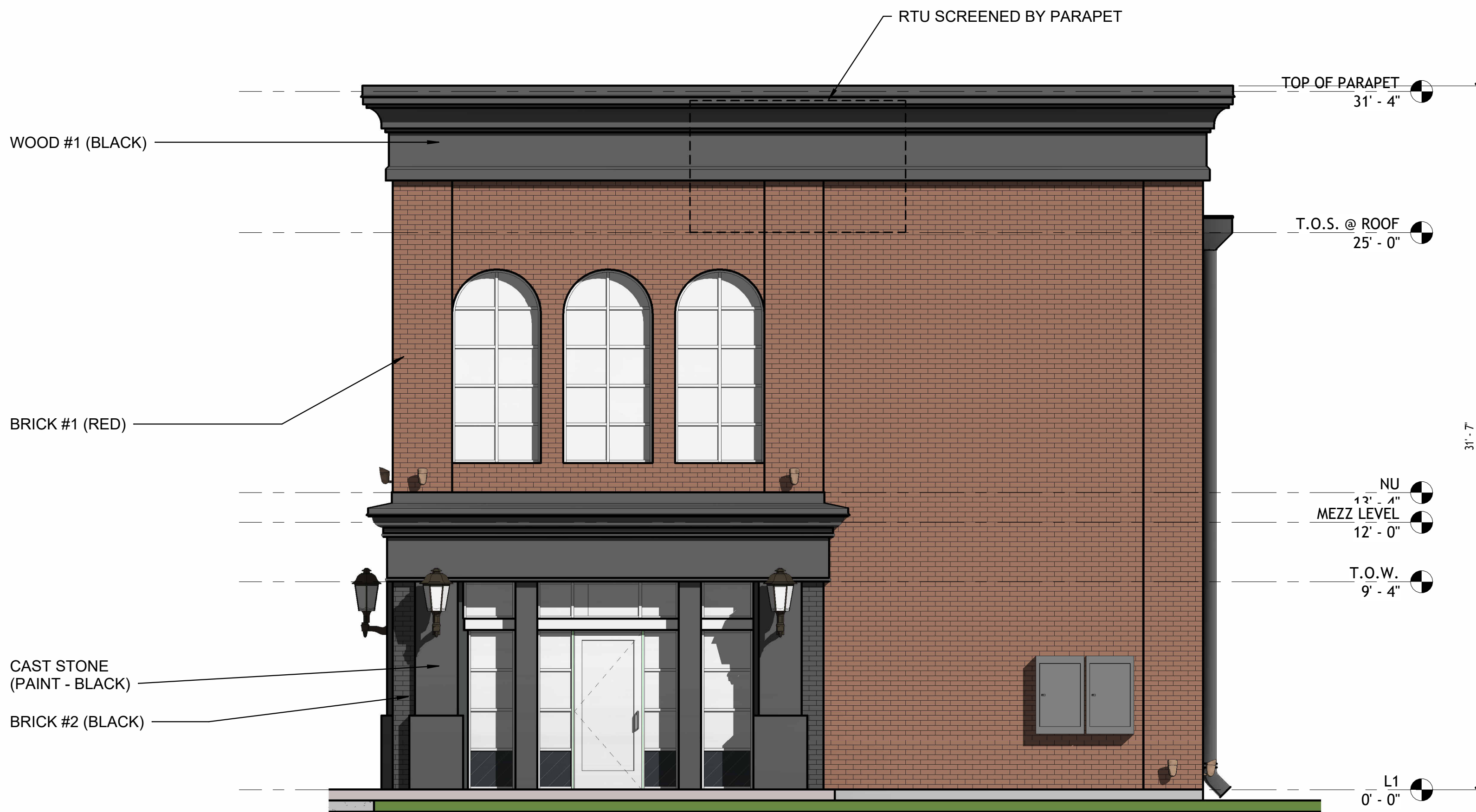
Scale: As Indicated

A603

12/29/2025 9:36:48 AM



2 NORTH ELEVATION
1/4" = 1'-0"



1 EAST SIDE ELEVATION
1/4" = 1'-0"

MATERIAL CALCS:
100% MASONRY (BRICK AND CAST STONE)

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

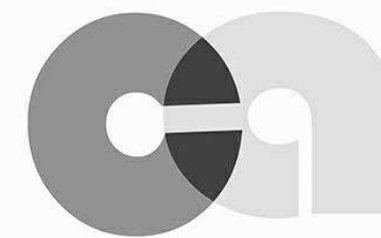
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922

CRADDOCK
ARCHITECTURE



12.29.25
PHILLIP CRADDOCK, ARCHITECT
TEXAS 19207

CRADDOCK ARCHITECTURE

551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

SHIPMAN'S COFFEE

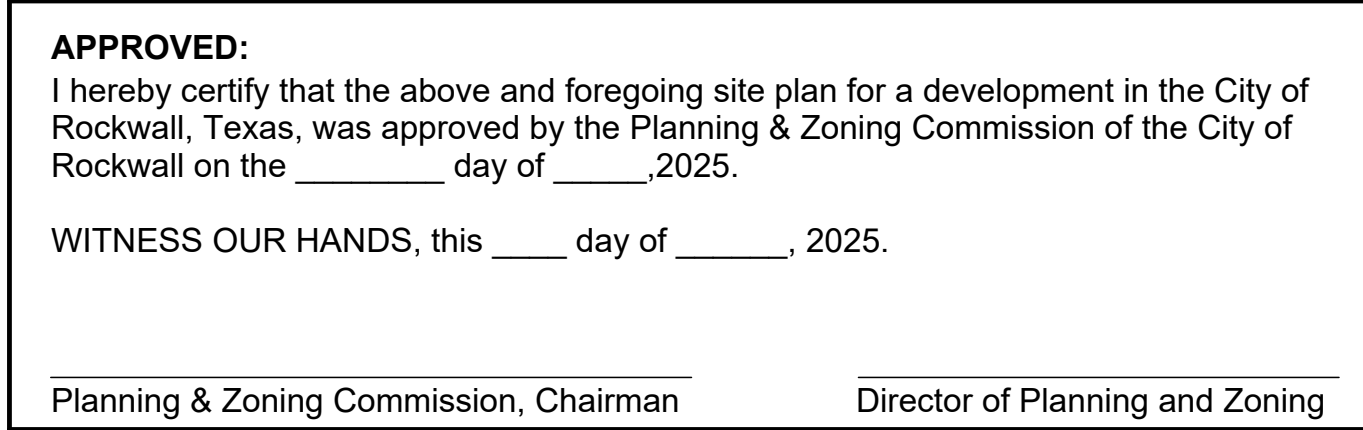
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REVISION		
#	Revision Date	Revision Description

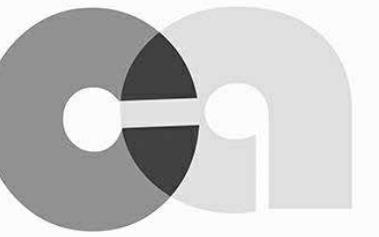
SHIPMAN'S COFFEE
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Project number 2024.002
Date 9.5.25
EXTERIOR ELEVATIONS

Scale: As Indicated

A604



OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922



12.29.25
WILLIP CRADDOCK, ARCHITECT
TEXAS 19207

CRADDOCK ARCHITECTURE
551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

SHIPMAN FIRE PROTECTION

551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

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REVISION		
#	Revision Date	Revision Description

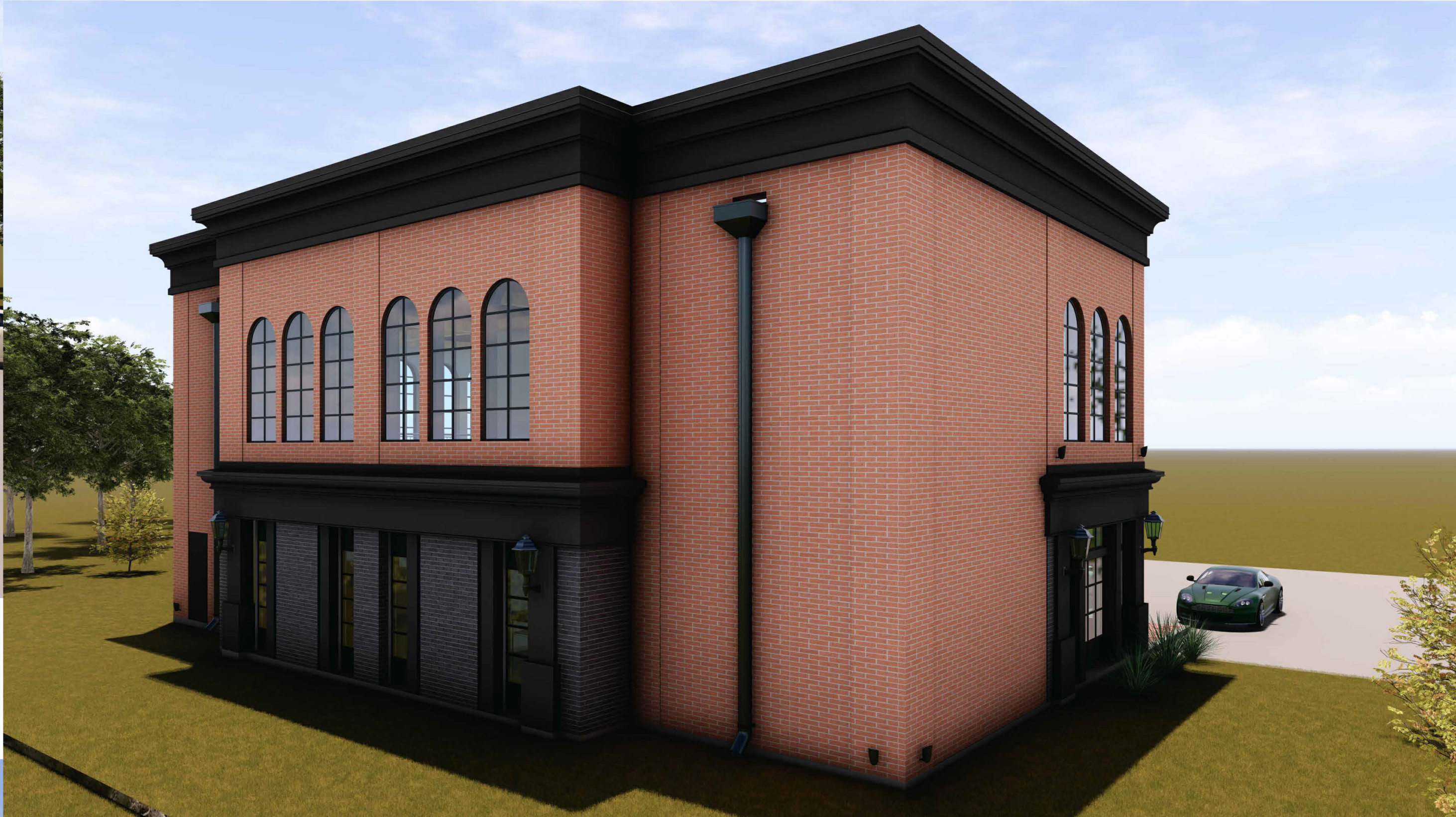
NEW OFFICE / STORAGE
1020 La Jolla Pointe Drive
Rockwall, TX 75087

Project number	Date
2024-001	10.14.25

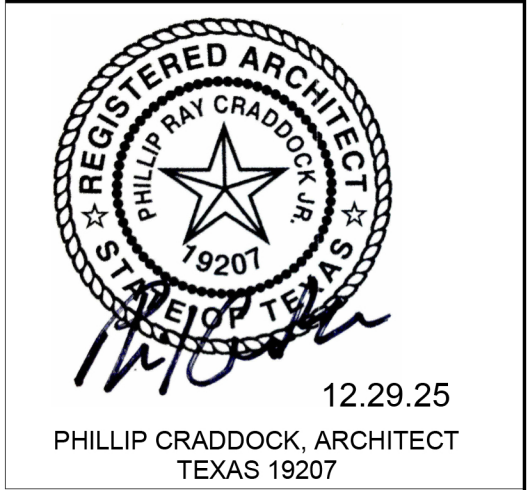
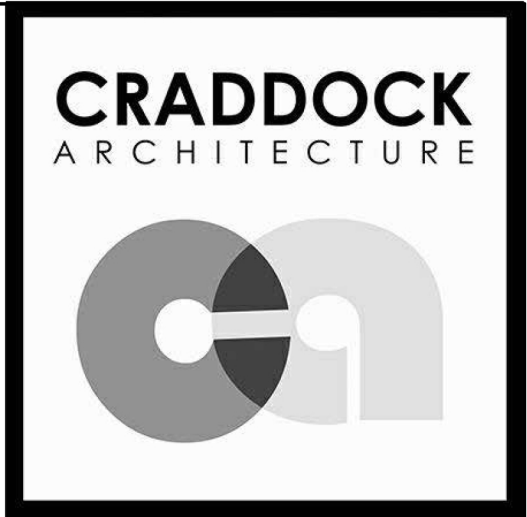
PERSPECTIVES

Scale: 1" = 1'-0"

A602



12/29/2025 9:36:49 AM



CRADDOCK ARCHITECTURE
551 EMBARGO DR. FATE TEXAS 75189 214-952-0527

SHIPMAN'S COFFEE

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REVISION		
#	Revision Date	Revision Description

SHIPMAN'S COFFEE 1020 La Jolla Pointe Drive Rockwall, TX 75087 Project number 2024.002	Date 9.5.25	PERSPECTIVES

A605

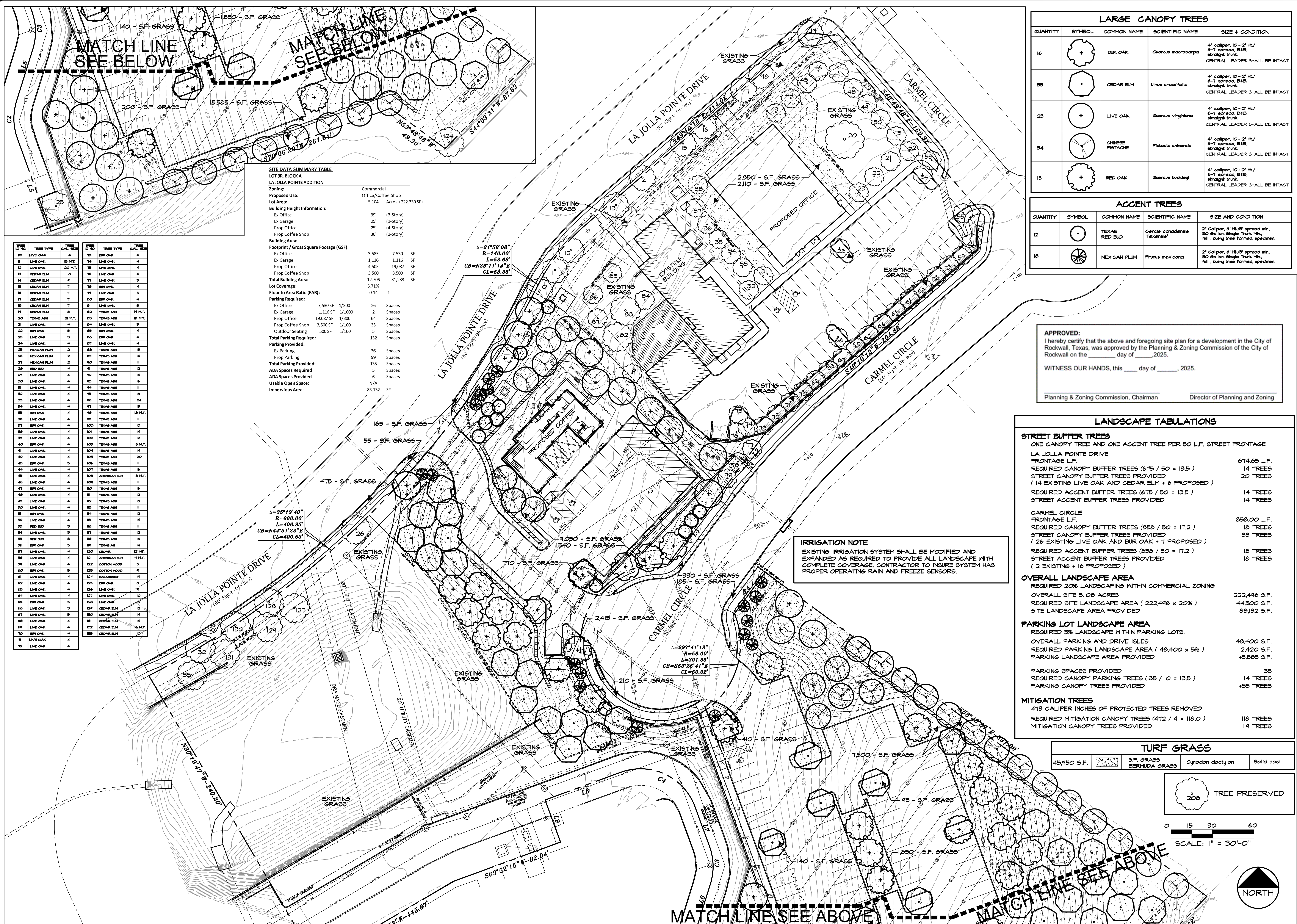
APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER:
SHIPMAN FIRE PROTECTION
1020 La Jolla Pointe Drive
Rockwall, TX 75087
Clay Shipman (682) 223-1922

Scale: 1" = 1'-0"



TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE ID NO.	TREE TYPE	TREE CAL. SIZE
10	LIVE OAK	14	78	BUR OAK	4
11	LIVE OAK	18 HT.	79	LIVE OAK	4
12	LIVE OAK	20 HT.	80	BUR OAK	4
13	CEDEAR ELM	10	81	LIVE OAK	4
14	CEDEAR ELM	11	82	TEXAS ASH	14 HT.
15	CEDEAR ELM	7	83	TEXAS ASH	18 HT.
16	CEDEAR ELM	7	84	LIVE OAK	9
17	CEDEAR ELM	7	85	BUR OAK	4
18	CEDEAR ELM	7	86	BUR OAK	4
19	CEDEAR ELM	7	87	LIVE OAK	4
20	CEDEAR ELM	7	88	TEXAS ASH	18
21	LIVE OAK	4	89	TEXAS ASH	14
22	BUR OAK	8	90	TEXAS ASH	11
23	LIVE OAK	8	91	TEXAS ASH	12
24	LIVE OAK	4	92	TEXAS ASH	14
25	HENRIAN PLUM	2	93	TEXAS ASH	16
26	HENRIAN PLUM	2	94	TEXAS ASH	11
27	HENRIAN PLUM	2	95	TEXAS ASH	16
28	RED BUD	4	96	TEXAS ASH	24
29	LIVE OAK	4	97	TEXAS ASH	18
30	LIVE OAK	4	98	TEXAS ASH	18 HT.
31	LIVE OAK	4	99	TEXAS ASH	12
32	LIVE OAK	4	100	TEXAS ASH	14
33	LIVE OAK	4	101	TEXAS ASH	14
34	LIVE OAK	4	102	TEXAS ASH	12
35	LIVE OAK	4	103	TEXAS ASH	18 HT.
36	LIVE OAK	4	104	TEXAS ASH	14
37	LIVE OAK	4	105	TEXAS ASH	20
38	BUR OAK	9	106	TEXAS ASH	11
39	LIVE OAK	4	107	TEXAS ASH	18
40	LIVE OAK	4	108	AMERICAN BLM	18 HT.
41	LIVE OAK	4	109	TEXAS ASH	11
42	LIVE OAK	4	110	TEXAS ASH	16
43	LIVE OAK	4	111	TEXAS ASH	12
44	LIVE OAK	4	112	TEXAS ASH	10
45	LIVE OAK	4	113	TEXAS ASH	11
46	LIVE OAK	4	114	TEXAS ASH	12
47	BUR OAK	4	115	TEXAS ASH	14
48	LIVE OAK	4	116	TEXAS ASH	11
49	LIVE OAK	4	117	TEXAS ASH	12
50	LIVE OAK	4	118	TEXAS ASH	18
51	BUR OAK	4	119	TEXAS ASH	14
52	LIVE OAK	4	120	CEDEAR	12 HT.
53	LIVE OAK	4	121	AMERICAN BLM	4 HT.
54	LIVE OAK	4	122	COTTON WOOD	9
55	BUR OAK	9	123	COTTON WOOD	4
56	BUR OAK	9	124	HACKBERRY	14
57	LIVE OAK	4	125	BUR OAK	8
58	LIVE OAK	4	126	LIVE OAK	14
59	LIVE OAK	4	127	LIVE OAK	10
60	BUR OAK	9	128	LIVE OAK	10
61	LIVE OAK	9	129	CEDEAR ELM	12
62	LIVE OAK	9	130	CEDEAR ELM	14
63	LIVE OAK	4	131	CEDEAR ELM	14
64	LIVE OAK	4	132	CEDEAR ELM	18 HT.
65	BUR OAK	4	133	CEDEAR ELM	20 HT.
66	LIVE OAK	4			
67	LIVE OAK	4			
68	LIVE OAK	4			
69	LIVE OAK	4			
70	LIVE OAK	4			
71	LIVE OAK	4			
72	LIVE OAK	4			

SITE DATA SUMMARY TABLE	
LA JOLLA POINTE ADDITION	
Zoning:	Commercial
Proposed Use:	Office/Coffee Shop
Lot Area:	5.104 Acres (222,330 SF)
Building Height Information:	
Ex Office	39' (3-Story)
Ex Garage	25' (1-Story)
Prop Office	25' (4-Story)
Prop Coffee Shop	30' (1-Story)
Building Area:	
Footprint / Gross Square Footage (GSF):	
Ex Office	7,530 SF
Ex Garage	1,116 SF
Prop Office	19,087 SF
Prop Coffee Shop	3,500 SF
Total Building Area:	12,706
Lot Coverage:	5.71%
Floor to Area Ratio (FAR):	0.14 : 1
Parking Required:	
Ex Office	7,530 SF 1/300
Ex Garage	1,116 SF 1/300
Prop Office	19,087 SF 1/300
Prop Coffee Shop	3,500 SF 1/300
Outdoor Seating	500 SF 1/300
Total Parking Required:	132 Spaces
Parking Provided:	
Ex Parking	36 Spaces
Prop Parking	99 Spaces
Total Parking Provided:	135 Spaces
ADA Spaces Required	5 Spaces
ADA Spaces Provided	6 Spaces
Usable Open Space:	N/A
Impervious Area:	83,132 SF

LARGE CANOPY TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
16		BUR OAK	<i>Quercus macrocarpa</i>	4" caliper, 10'-12" Ht./ 6'-7" spread, B&B, straight trunk. CENTRAL LEADER SHALL BE INTACT
93		CEDAR ELM	<i>Ulmus crassifolia</i>	4" caliper, 10'-12" Ht./ 6'-7" spread, B&B, straight trunk. CENTRAL LEADER SHALL BE INTACT
25		LIVE OAK	<i>Quercus virginiana</i>	4" caliper, 10'-12" Ht./ 6'-7" spread, B&B, straight trunk. CENTRAL LEADER SHALL BE INTACT
94		CHINESE PISTACHE	<i>Pistacia chinensis</i>	4" caliper, 10'-12" Ht./ 6'-7" spread, B&B, straight trunk. CENTRAL LEADER SHALL BE INTACT
13		RED OAK	<i>Quercus buckleyi</i>	4" caliper, 10'-12" Ht./ 6'-7" spread, B&B, straight trunk. CENTRAL LEADER SHALL BE INTACT

ACCENT TREES				
QUANTITY	SYMBOL	COMMON NAME	SCIENTIFIC NAME	SIZE & CONDITION
12		TEXAS RED BUD	<i>Cercis canadensis 'Texanensis'</i>	2" caliper, 6' Ht./ 3" spread min. 30 gallon, single trunk min. full, bushy tree formed, specimen.
18		MEXICAN PLUM	<i>Prunus mexicana</i>	2" caliper, 6' Ht./ 3" spread min. 30 gallon, single trunk min. full, bushy tree formed, specimen.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____, 2025.

WITNESS OUR HANDS, this _____ day of _____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

LANDSCAPE TABULATIONS	
STREET BUFFER TREES ONE CANOPY TREE AND ONE ACCENT TREE PER 50 L.F. STREET FRONTAGE	
LA JOLLA POINTE DRIVE FRONTAGE L.F.	674.65 L.F.
REQUIRED CANOPY BUFFER TREES (675 / 50 = 13.5)	14 TREES
STREET CANOPY BUFFER TREES PROVIDED (14 EXISTING LIVE OAK AND CEDAR ELM + 6 PROPOSED)	20 TREES
REQUIRED ACCENT BUFFER TREES (675 / 50 = 13.5)	14 TREES
STREET ACCENT BUFFER TREES PROVIDED	14 TREES
CARMEL CIRCLE FRONTAGE L.F.	858.00 L.F.
REQUIRED CANOPY BUFFER TREES (858 / 50 = 17.2)	18 TREES
STREET CANOPY BUFFER TREES PROVIDED (26 EXISTING LIVE OAK AND BUR OAK + 7 PROPOSED)	33 TREES
REQUIRED ACCENT BUFFER TREES (858 / 50 = 17.2)	18 TREES
STREET ACCENT BUFFER TREES PROVIDED (2 EXISTING + 16 PROPOSED)	18 TREES
OVERALL LANDSCAPE AREA REQUIRED 20% LANDSCAPING WITHIN COMMERCIAL ZONING	
OVERALL SITE 5.108 ACRES	222,496 S.F.
REQUIRED SITE LANDSCAPE AREA (222,496 x 20%)	44,500 S.F.
SITE LANDSCAPE AREA PROVIDED	88,132 S.F.
PARKING LOT LANDSCAPE AREA REQUIRED 5% LANDSCAPE WITHIN PARKING LOTS.	
OVERALL PARKING AND DRIVE ISLES	48,400 S.F.
REQUIRED PARKING LANDSCAPE AREA (48,400 x 5%)	2,420 S.F.
PARKING LANDSCAPE AREA PROVIDED	+5,885 S.F.
PARKING SPACES PROVIDED	135
REQUIRED CANOPY PARKING TREES (135 / 10 = 13.5)	14 TREES
PARKING CANOPY TREES PROVIDED	+35 TREES
MITIGATION TREES 473 CALIPER INCHES OF PROTECTED TREES REMOVED	
REQUIRED MITIGATION CANOPY TREES (472 / 4 = 118.0)	118 TREES
MITIGATION CANOPY TREES PROVIDED	119 TREES

TURF GRASS			
45,950 S.F.		S.F. GRASS	Cynodon dactylon
		BERMUDA GRASS	Solid sod

TREE PRESERVED

0 15 30 60
SCALE: 1" = 30'-0"



Date: _____

Revisions: _____

Issued For:
CONSTRUCTION

Job No.
25137

Scale
1" = 30'-0"

Drawn By:
JDG

Date
12-30-2025

Shipman Fire Building
& Coffee Shop
Lot 3R, Block A, La Jolla Pointe Addition
Rockwall Texas

Landscape Plan

Sheet Number:
L1
of L2 Sheets

LANDSCAPING

PART I - GENERAL

- 1.1 SCOPE:
- Provide all labor, materials and equipment for complete installation of landscaping, as indicated on the drawings and specified herein.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE:
- A. Irrigation System
- B. Lawns
- C. Earthwork
- D. General Requirements
- 1.3 QUALITY ASSURANCE:
- A. Provide plant materials in compliance with applicable State and Federal laws relating to inspection for diseases and insect infestation at growing site.
- B. Plants are subject to inspection and approval by the Landscape Architect. Plants required for the work may be inspected and tagged at the growing site before being dug.
- C. Observation at growing site does not preclude right of rejection at job site. Plants damaged in transit or at job site may be rejected.
- D. Employ only qualified personnel familiar with required work.
- E. Off-site topsoil and topsoil on-site Testing (paid by Landscape Contractor):
1. Provide source of off-site soil (if Required For Job to the Owners representative for the purpose of soil investigation).
2. Take random representative soil samples from areas to be planted.
3. Test soil samples from both sources for pH, alkalinity, total soluble salts, porosity, sodium content and organic matter.
- F. File Certificate of Inspection of plant material by State and Federal authorities with Landscape Architect, if required by State.

- 1.4 REFERENCED STANDARDS:
- A. American Standard for Nursery Stock, approved 1986 by American National Standards Institute, Inc. - Plant materials.
- B. Horvath Third, 1976 - Cornell University - Plant nomenclature.
- C. ASTM - American Standard Testing Material - Sharp sand.

- 1.5 PRODUCT DELIVERY, STORAGE AND HANDLING:
- A. Delivery:
1. Deliver packaged materials in sealed containers showing weight, analysis and name of manufacturer. Protect materials from deterioration during delivery and while stored at site.
2. Do not deliver more plant materials than can be planted in one day unless adequate storage and watering facilities are available on job site. Storage of materials and equipment at the job site will be at the risk of the landscape contractor. The owner will not be held responsible for theft or damage.
3. If balled plants cannot be planted within 24 hours after delivery to site, protect root balls by heeling in with saw dust or other approved material.
4. Protect during delivery to prevent damage to root ball or desiccation of leaves.
5. Notify Landscape Architect of delivery schedule 48 hours in advance so plant material may be observed upon arrival at job site.
6. Remove rejected plant material immediately from site.

- 1.6 JOB CONDITIONS:
- A. Planting Restrictions:
- Perform actual planting only when weather and soil conditions are suitable in accordance with locally accepted practice. In no way shall any trees, plants, ground cover or seasonal color obstruct drainage or block a 2% minimum positive slope away from buildings.
- B. Utilities:
1. Determine locations of underground utilities and perform work in a manner which will avoid possible damage. Hand excavate, if required, to minimize possibility of damage to underground utilities.
2. Maintain grade stakes set by others until removal is mutually agreed upon by parties concerned.
3. Coordinate work with irrigation contractor to prevent damage to underground sprinkler system.

- 1.7 WARRANTY:
- A. Warranty for plants and trees shall be for one year after final acceptance. Replace dead materials and materials not in vigorous, thriving condition as soon as weather permits and on notification by Owners Rep. Replace plants, including trees, which in opinion of Landscape Architect have partially died thereby damaging shape, size, or symmetry.
- B. Replace plants and trees with same kind and size as originally planted, at no cost to the Owner. Provide one-year warranty on replacement plants. These should be replaced at start of next planting or digging season. In such cases, remove dead trees immediately. Protect irrigation system and other piping conduit or other work during replacement. Repair any damage immediately.
- C. Warranty excludes replacement of plants after final acceptance because of injury by storm, drought, drowning, hail, freeze, insects or diseases.
- D. At the end of the warranty period, staking and guying materials if required shall be removed from the site.

- 1.8 MAINTENANCE:
- A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
- B. Until final acceptance, maintain plantings and trees by watering, cultivating, mowing, weeding, spraying, clearing and replacing as necessary to keep landscape in a vigorous, healthy condition and rake bed areas as required.
- C. A written notice requesting final inspection and acceptance should be submitted to Landscape Architect or owners representative within seven (7) days prior to completion. At that time owner and Landscape Architect will prepare a final punch list to be reviewed with the landscape contractor.
- D. Following final acceptance, maintenance of plant material will become the Owner's responsibility. The Contractor shall provide Owner with a recommended maintenance program.

PART 2 - PRODUCTS

- 2.1 PLANTS:
- A. Quantities: The drawings and specifications are complementary; anything called for on one and the other is as binding as if shown and called for on both. The plant schedule is an aid to bidders only. Confirm all quantities on plan.
- B. Plants shall be equal to well formed No. 1 grade or better; symmetrical, heavily branched with an even branch distribution, densely foliated and/or budded, and a strong, straight, distinct leader where this is characteristic of species. Plants shall possess a normal balance between height and spread. The Landscape Architect will be the final arbiter of acceptability of plant form, either before or after planting and shall be removed at the expense of the Landscape Contractor and replaced with acceptable plants as specified.
- C. Plants shall be healthy and vigorous, free of disease, insect pests and their eggs, and larvae.
- D. Plants shall have a well-developed fibrous root system.
- E. Plants shall be free of physical damage such as scrapes, broken or split branches, scars, bark abrasions, sun scalds, fresh limb cuts, disfiguring knots, or other defects.
- F. Pruning of all trees and shrubs, as directed by Landscape Architect, shall be executed by Landscape Contractor at no additional cost to the Owner.
- G. Plants shall meet the sizes indicated on the Plant List. Where a size or caliper range is stated, at least 50% of the material shall be closer in size to the top of the range stated.
- H. Plants indicated "B&B" shall be balled and burlapped. Plants shall be nursery grown unless otherwise specified in plant list. Balls shall be firm, neat, slightly tapered and well burlapped. Non-biodegradable ball wrapping material will not be accepted. Any tree loose in the ball or with broken ball at time of planting will be rejected. Balls shall be ten (10) inches in diameter for each one (1") inch of trunk diameter, measured six (6") inches above ball.
- I. Container grown plants shall be well rooted and established in the container in which they are growing. They shall have grown in the container for a sufficient length of time for the root system to hold the planting medium when taken from the container, but not long enough to become root bound.

- 2.2 SOIL PREPARATION MATERIALS:
- A. Peat Moss: Commercial sphagnum moss or hyphum peat.
- B. Pre mixed soils can be used as long as samples are submitted with submitted with manufacturer's data and laboratory test reports.
- C. Sandy Loam:
1. Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones, and other extraneous material and reasonably free of weeds and foreign
2. Physical properties as follows:
- Clay - between 7-27 percent
- Silt - between 28-50 percent
- Sand - less than 52 percent
- D. Sharp Sand: Clean, washed sand, (fine aggregate) ASTM C-33.

- 2.3 COMMERCIAL FERTILIZER:
- A. Fertilizer shall be delivered in manufacturer's standard container printed with manufacturer's name, material weight, and guaranteed analysis. Fertilizers with N-P-K analysis other than that specified may be used provided that the application rate per square foot of nitrogen, phosphorus, and potassium is equal to that specified.
- B. Commercial Fertilizer for Planting Beds: Complete fertilizer 5-10-5 element ratio with minimum 8% sulfur and 4% iron plus micro-nutrients.
- C. Controlled-Release fertilizer planting tablets for tree planting pits, shall be equal to Agriform 20-10-15 planting tablets as manufactured by Sierra Chemical Co., Milpitas, California 95035 or approved equal.
- 2.4 MULCH:
- Bark mulch shall be hardwood mulch chips, ranging in size from 1/4-inch to 1-inch in size, medium fine texture, shredded.

PART 3 - EXECUTION

- 3.1 CONDITION OF SURFACES:
- A. New bed areas will be left within one tenth of a foot of finish grade by other trades. Contractor will be responsible for raking and smoothing of grade.
- B. Examine subgrade upon which work is to be performed. Notify the Landscape Architect or owners representative of unsatisfactory conditions.
- 3.2 SHRUB PLANTING
- A. All shrubs to be pocket planted. Excavate planting hole 8" larger than the width and height of the root ball. Backfill with 1/3 (soil mix and/or peatmoss), 1/3 native soil and 1/3 sand.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches, various tags, and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.
- 3.3 GROUND COVER PLANTING
- A. Till 2 inches minimum of thoroughly mixed prepared soil or equal in all planting bed areas as follows:
1. 1 part sandy loam
- 1 part peat moss
- 1 part sharp sand
- Add 4 pounds commercial fertilizer per 100 SF of bed area and mix thoroughly.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces, and mulch bed areas 1 inch deep.

- 3.4 TREE PLANTING:
- A. Stake tree locations for Owners Representative approval prior to digging.
- B. Plant ornamental trees in pits 12-inches larger than the root ball. Plant shade trees in pits two feet greater in diameter than root ball and equal to depth of root ball.
- C. After excavation of tree pits, review water percolation. If tree pit does not drain adequately prepare hole for use with a tree pump. Paint PVC stand pipe and cover dark green. After tree is installed, pump water out on a daily basis.
- D. In the event rock or underground construction work or obstructions are encountered in any plant pit excavation work to be done under this section, alternate locations may be selected by the Landscape Architect. Where locations cannot be changed the obstructions shall be removed to a depth of not less than six (6") inches below bottom of ball when plant is properly set at the required grade. The work of this section shall include the removal from the site of such rock or underground obstructions encountered at the cost of the Landscape Contractor.
- E. Prepare soil for planting by thoroughly mixing two parts sandy loam and one part peatmoss or other approved organic matter. If planting soil does not fall within the pH range of 5.5 to 7.0 add limestone or aluminum sulphate to bring soil into the specified pH range.
- F. Backfill tree pits with a mixture of 1/2 prepared soil and 1/2 existing site soil. Lightly tamp every 6-inches to fill all voids and pockets. When pit is 2/3 full, water thoroughly and leave water to soak in. Place fertilizer planting tablets per manufacturer's recommendations. Complete backfilling and form a saucer around the tree.
- G. Completely fill each tree saucer with mulch to a depth of two inches.
- H. Contractor shall keep trees plumb until established. Guying and/or staking to maintain that plumb condition shall be at the Contractor's discretion. However, if trees are not plumb, the Contractor will be required to guy and/or stake those trees in a method acceptable to the Landscape Architect at no additional cost to the Owner.
- I. Pruning: Prune trees to preserve the natural character of the plant in a manner appropriate to the particular requirements in the landscape design as directed by the Landscape Architect. In general, remove at least one-third of wood by thinning and pruning. DO NOT cut back terminal branches. Thin native grown plants heavier than nursery grown plants. Remove sucker growth and broken or badly bruised branches.

- 3.5 SEASONAL COLOR PLANTING:
- A. Beds shall be excavated to a depth of 2 inches. Soil shall be replaced with 100% Living Earth Technology Complete Mix or equal.
- B. Plant where located, setting plants with tops of balls even with tops of beds, and compact soil carefully around each plant ball.
- C. Water each plant thoroughly with hoses to eliminate air pockets.
- D. Carefully prune plants to remove dead or broken branches and hand-rake bed areas to smooth even surfaces and mulch bed areas 1 inch deep.
- 3.6 CLEANUP:
- During work, keep premises neat and orderly including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from planting areas, preparing beds, or planting plants from site daily as work progresses. Keep walk and driveway area clean by sweeping or hosing.

END OF LANDSCAPING SECTION

LAWNS

PART I - GENERAL

- 1.1 SCOPE:
- Furnish all labor, tools, transportation, materials, equipment, supervision, etc., required to adequately establish a dense lawn of permanent grasses, free from lumps and depressions as indicated by plans and specifications.
- Reduce any part of the area failing to show uniform cover until a dense lawn is established. The cost of miscellaneous labor and materials for topsoil, weeding, tilling, pest control, fertilizing, etc., are not separate pay items and shall be included in the bid price for grading.
- 1.2 RELATED WORK SPECIFIED ELSEWHERE:
- A. Irrigation System
- B. Landscaping
- 1.3 MAINTENANCE OF GRASS:
- The contractor shall maintain the grass until final acceptance. Such maintenance shall include spraying, weeding, cultivation, fertilizing, watering, disease and insect control, top dressing low spots, plus any procedures consistent with horticultural practice necessary to insure normal, vigorous, and healthy grass.
- 1.4 JOB CONDITIONS:
- A. Water: Will be available on site. Provide necessary hoses and other watering equipment required to complete work.
- B. Lawn areas will be left within 1/10 of a foot of finish grade by other trades. Fine grading, raking and smoothing will be the responsibility of the contractor.
- 1.5 SCHEDULE:
- A. Seeding/hydromulching - Bermudagrass: Complete only between May 1 to August 31 under favorable conditions. (warm season)
- B. Seeding/hydromulching - Perennial Ryegrass: Complete only between September 1 to April 30, except at front of project, as determined by owner, under favorable climatic conditions.
- C. Sodding: Sod bermuda between March 15 and September 30. Between October 1 and March 14 overseed sod with Perennial ryegrass under favorable conditions. (Use nursery overseeded sod, in lieu of seeding after installation, if available.)
- D. Qualifications: Due to unseasonable weather, the above dates may vary; however, do not proceed with grassing operations beyond these dates without assuming full responsibility for a stand of grass.
- 1.6 ACCEPTANCE:
- The work will be accepted when a completed, undamaged stand of grass is achieved, as approved by the Owner's Representative.

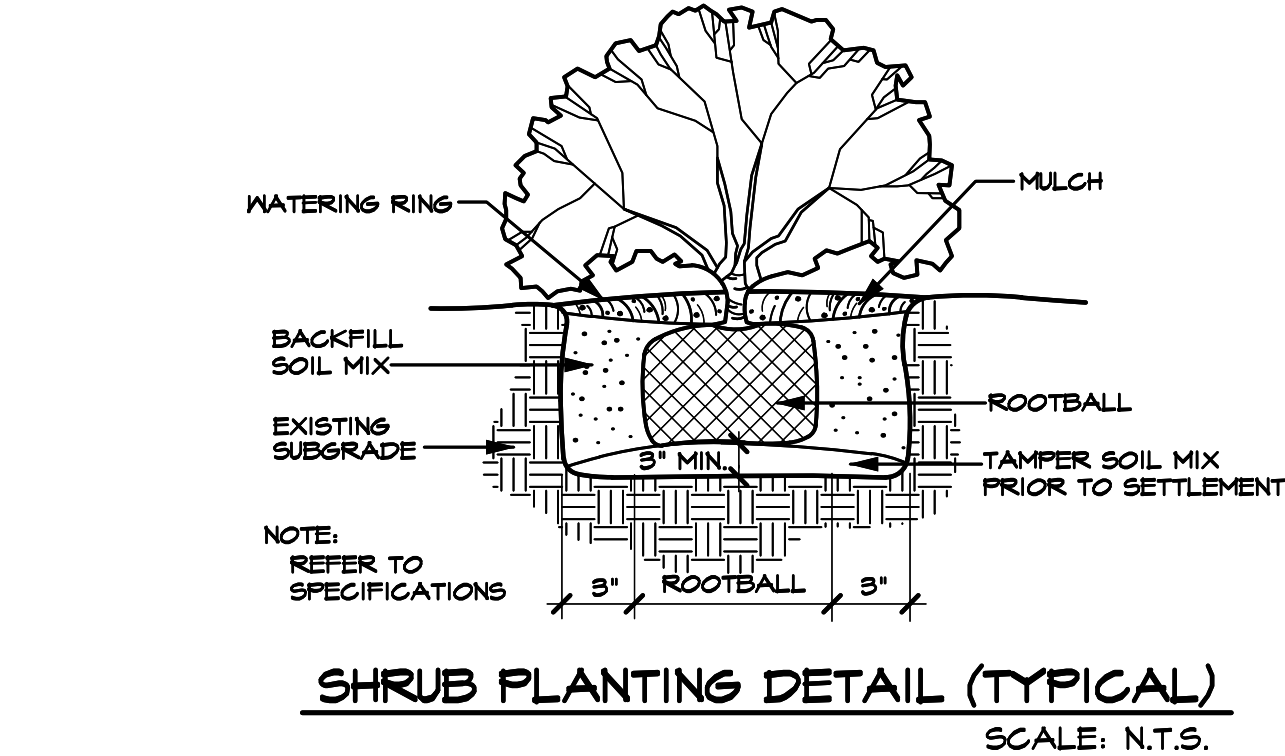
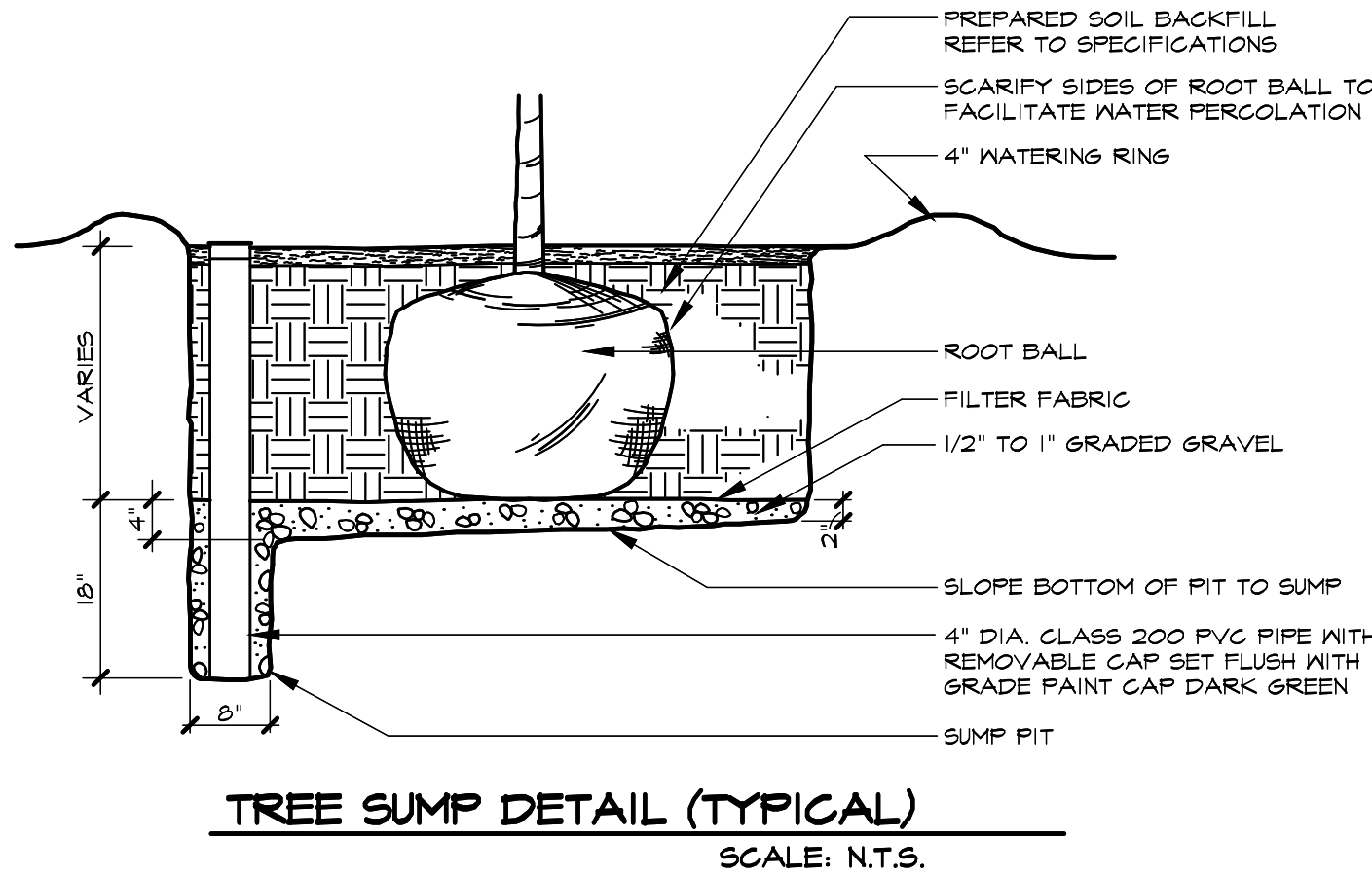
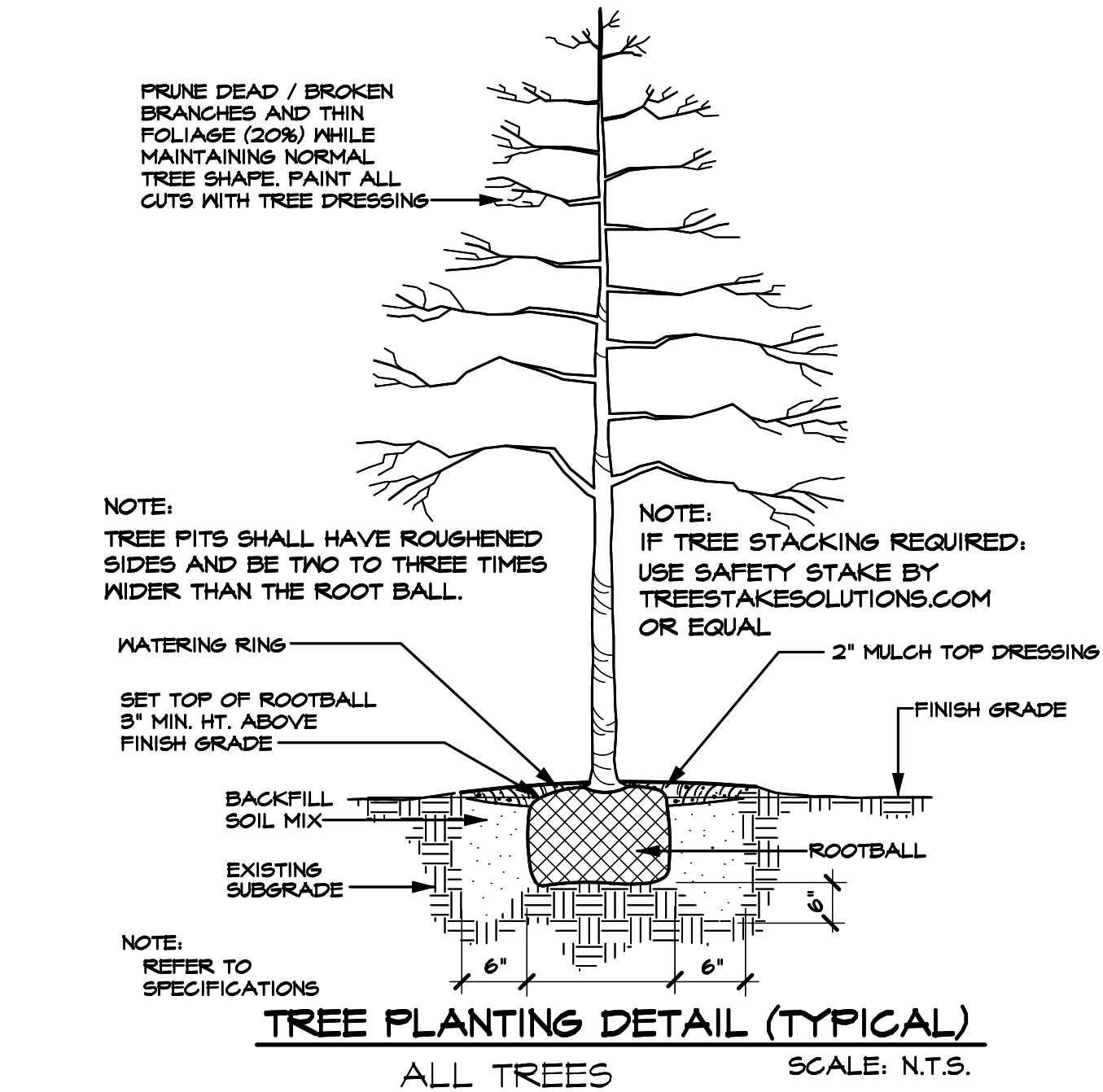
PART 2 - MATERIALS

- 2.1 TOPSOIL:
- A. (If specified on the plans as a requirement)Friable, fertile, dark, loamy soil, free of clay lumps, sub-soil stones, and other extraneous material and reasonable free of weeds and foreign grasses. Topsoil containing dallgrass or nutgrass shall be rejected.
- B. Physical properties as follows:
- Clay - between 7-27 percent
- Silt - between 28-50 percent
- Sand - less than 52 percent
- 2.2 GRASS:
- A. Bermuda Grass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
- B. "Raleigh" St. Augustine Grass: Solid Sod, live, rich, dark green in color, free of foreign grasses, weeds, nutgrass, cut with a full 3/4 inch of heavy clay covering roots. Deliver to site in 12 inch squares or 12 inch wide rolls. Do not stack for more than 24 hours between time of cutting and time of delivery.
- C. Annual Ryegrass: Extra fancy, hulled and treated, lawn type seed, delivered to site in original, unopened containers meeting requirements of Texas State Seed Law. Minimum purity germination 90 percent.
- 2.3 FERTILIZER:
- Fertilizer shall be organic base, uniform in composition, dry and free flowing. Deliver fertilizer to site in original, unopened containers, each bearing manufacturer's guaranteed statement of analysis.
- A. First application: 12-12-12 element percentage with minimum 8% sulfur and 4% iron, plus micro nutrients.
- B. Second application: 3-1-2 element ratio. Nitrogen source to be a minimum 50% slow release organic nitrogen (SGU or UF) plus minimum 8% sulfur and 4% iron plus micro nutrients.

PART 3 - EXECUTION

- 3.1 PREPARATION:
- A. Scarify lawn areas where excessive compaction is greater than 85% Standard Proctor to a depth of 4-inches by discing or rototilling. Repeat cultivation as required to thoroughly loosen soil.
- B. Leave areas free of weeds and ready for final grading.
- C. Provide barricades around scarified areas to prevent compaction by construction vehicles.
- 3.2 FINAL GRADING:
- A. Remove from site and legally dispose of stones 3/4-inch and larger, sticks and other debris exposed during this operation.
- B. Provide finish grading leaving surface uniform without depressions and undulations, graded approximately 1-inch below paving.
- C. Secure approval from the Landscape Architect prior to proceeding with grassing operation.
- 3.3 HERBICIDE:
- Apply herbicide to remove any remaining weeds. This work is to be performed by a licensed applicator following the manufacturer's recommendations.
- 3.4 FERTILIZER:
- A. Place first application with hydromulch at rate of 12 pounds per 1,000 square feet.
- B. Uniformly distribute second application using a rotary type fertilizer spreader 3-4 weeks after first application at 12 pounds per 1,000 square feet.
- 3.5 HYDROMULCH/SEEDING:
- A. At the time of hydromulch/seeding, soil shall be moist but not muddy, and wind velocity shall not exceed ten (10) miles per hour. Add water if required to moisten soil.
- B. Hydromulch seed uniformly at the rate of 2 pounds of Bermudagrass seed per 1,000 square feet.
- C. Add backfiller to hydromulch mix for slopes 5:1 or greater at the rate of 1 lb. per bag of mulch.
- D. Lay a 4" x 6" batter board against bed areas.
- 3.6 MECHANICAL SEEDING:
- Seed uniformly at a rate of 125 pounds of Bermudagrass seed per acre or 350 pounds of Ryegrass per acre. Use grass drill, brilliant seeder, or viking roller.
- 3.7 SOLID SOD:
- A. Solid Sod: Plant grass by hand, edge to edge with staggered joints. Topdress with sharp sand raked in carefully to fill joints. Roll to eliminate undulations and provide complete soil contact.
- B. Fertilizing: Fertilize immediately after grass is planted at rate of 4 lbs per 1,000 square foot. Repeat fertilizing at the same rate 3-4 weeks later.
- 3.8 ESTABLISHMENT AND MAINTENANCE OF LAWN AREAS:
- A. Watering:
1. Water lawn areas immediately after grassing operation.
2. Continue watering as required to keep soil uniformly moist to a minimum depth of 4-inches.
3. Be alert to over-watering newly planted grass, particularly in heavy clay soils.
- B. Replanting/Erosion Control:
1. Correct any erosion that may occur during the establishment of grass.
2. Reseed (sod) any areas not showing sufficient growth within 3 weeks after initial grassing. Continue seeding (sodding) until a stand of grass is achieved.
3. A stand of grass will be defined as a uniform cover of actively growing turf.
- C. Mowing/Weed Control:
1. Mow lawn areas weekly until a stand of grass is achieved. Begin mowing when the lawn reaches a height of 3-inches; set mower to cut at 2-inches. A minimum of two mowings is required.
2. Weed lawn areas until acceptance, removing all foreign vegetation, either by hoeing or pulling. If approved, herbicide spot treatments may be used.
- 3.9 CLEANUP:
- During work, keep premises neat and orderly, including organization of storage areas. Remove trash, including debris resulting from removing weeds and rocks from site daily as work progresses. Keep paved areas clean by sweeping or hosing.

END OF LAWN SECTION



APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

Date:	
Revisions:	
#	

Issued For:
CONSTRUCTION

Job No.
25137

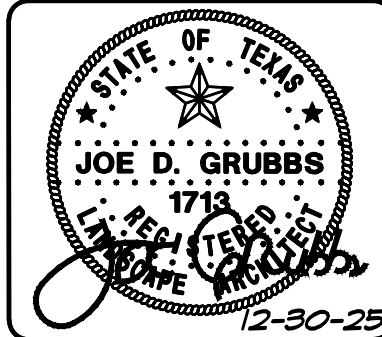
Scale
N.T.S.

Drawn By:
JDG

Date
12-30-2025

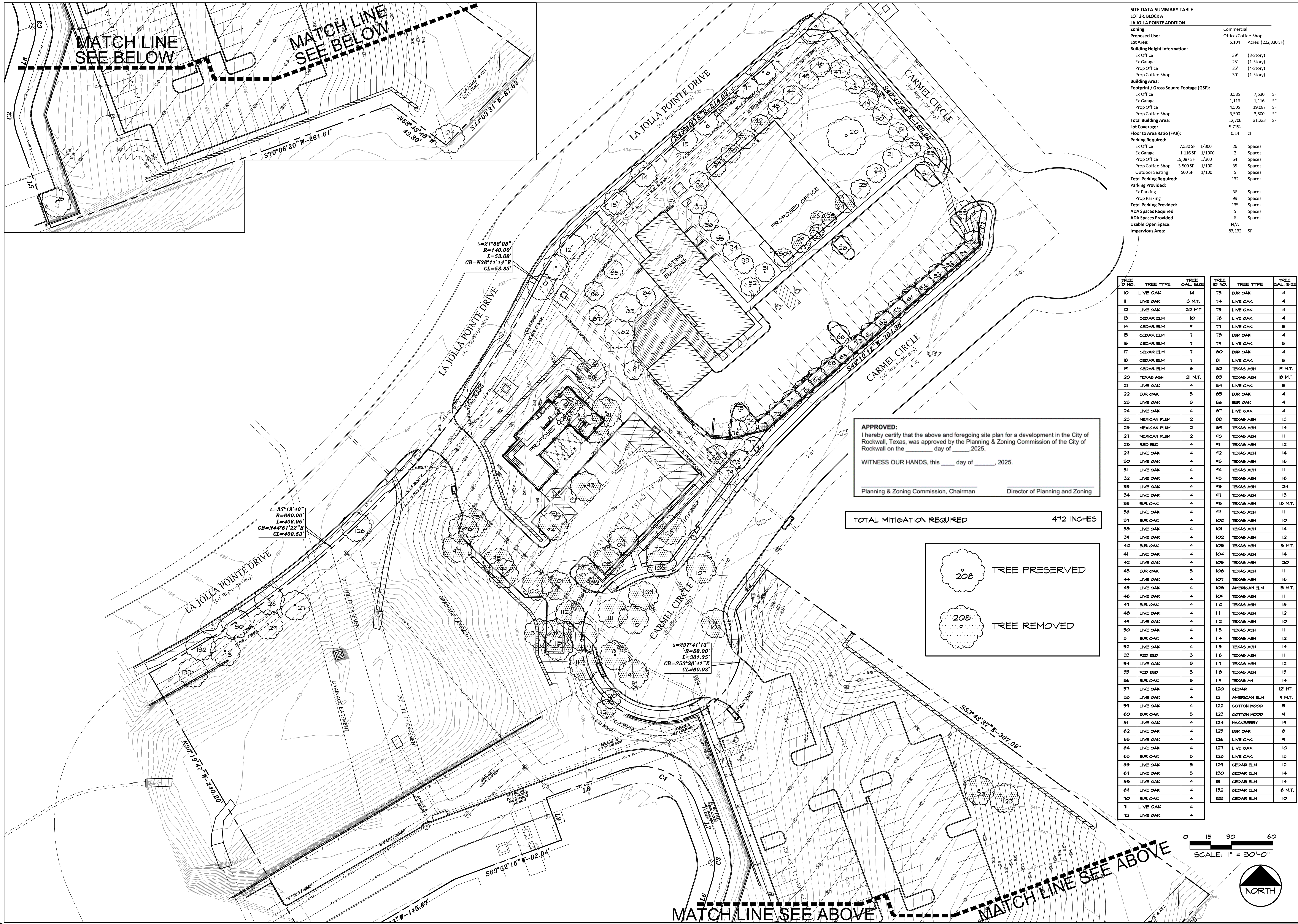
Shipman Fire Building
& Coffee Shop

Lot 3R, Block A, La Jolla Pointe Addition
Rockwall Texas



Sheet Title:
Landscape
Specifications

Sheet Number:
L2
of L2 Sheets



SITE DATA SUMMARY TABLE			
LOT 3R, BLOCK A LA JOLLA POINTE ADDITION			
Zoning:	Commercial		
Proposed Use:	Office/Coffee Shop		
Lot Area:	5,104	Acres	(222,330 SF)
Building Height Information:			
Ex Office	39'	(3-Story)	
Ex Garage	25'	(1-Story)	
Prop Office	25'	(4-Story)	
Prop Coffee Shop	30'	(1-Story)	
Building Area:			
Footprint / Gross Square Footage (GSF):			
Ex Office	3,585	7,530	SF
Ex Garage	1,116	1,116	SF
Prop Office	4,505	19,087	SF
Prop Coffee Shop	3,500	3,500	SF
Total Building Area:	12,706	31,233	SF
Lot Coverage:	5.71%		
Floor to Area Ratio (FAR):	0.14		
Parking Required:			
Ex Office	7,530 SF	1/300	26 Spaces
Ex Garage	1,116 SF	1/1000	2 Spaces
Prop Office	19,087 SF	1/300	64 Spaces
Prop Coffee Shop	3,500 SF	1/100	35 Spaces
Outdoor Seating	500 SF	1/100	5 Spaces
Total Parking Required:			132 Spaces
Parking Provided:			
Ex Parking			36 Spaces
Prop Parking			99 Spaces
Total Parking Provided:			135 Spaces
ADA Spaces Required			5 Spaces
ADA Spaces Provided			6 Spaces
Usable Open Space:			N/A
Impervious Area:	83,132	SF	

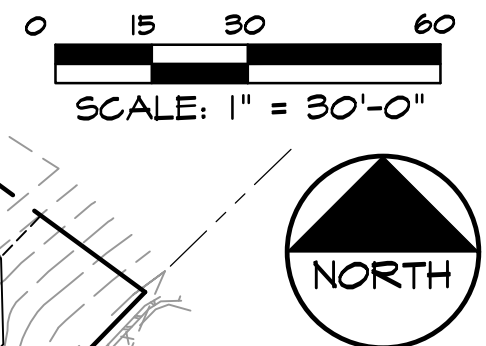
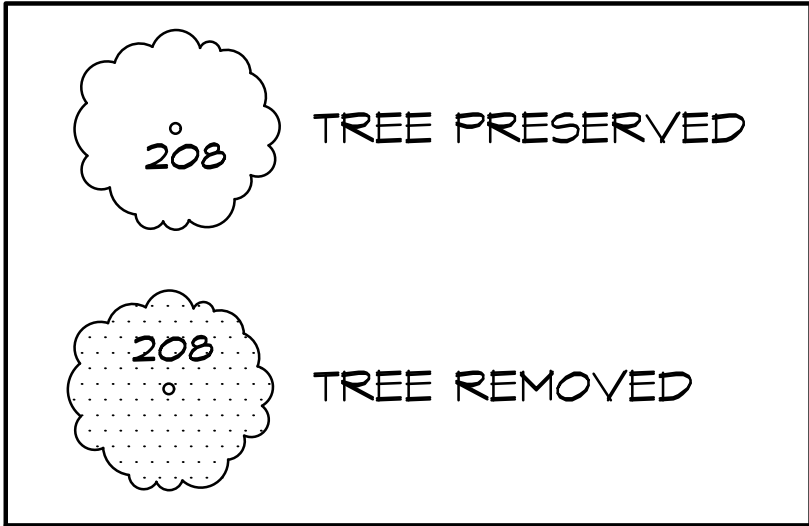
TREE ID NO.	TREE TYPE	TREE CAL. SIZE	TREE ID NO.	TREE TYPE	TREE CAL. SIZE
10	LIVE OAK	14	79	BUR OAK	4
11	LIVE OAK	19 M.T.	74	LIVE OAK	4
12	LIVE OAK	20 M.T.	75	LIVE OAK	4
13	CEDAR ELM	10	76	LIVE OAK	4
14	CEDAR ELM	4	77	LIVE OAK	5
15	CEDAR ELM	7	78	BUR OAK	4
16	CEDAR ELM	7	74	LIVE OAK	5
17	CEDAR ELM	7	80	BUR OAK	4
18	CEDAR ELM	7	81	LIVE OAK	5
19	CEDAR ELM	6	82	TEXAS ASH	19 M.T.
20	TEXAS ASH	21 M.T.	83	TEXAS ASH	18 M.T.
21	LIVE OAK	4	84	LIVE OAK	5
22	BUR OAK	5	85	BUR OAK	4
23	LIVE OAK	9	86	BUR OAK	4
24	LIVE OAK	4	87	LIVE OAK	4
25	MEXICAN PLUM	2	88	TEXAS ASH	15
26	MEXICAN PLUM	2	89	TEXAS ASH	14
27	MEXICAN PLUM	2	90	TEXAS ASH	11
28	RED BUD	4	91	TEXAS ASH	12
29	LIVE OAK	4	92	TEXAS ASH	14
30	LIVE OAK	4	93	TEXAS ASH	16
31	LIVE OAK	4	94	TEXAS ASH	11
32	LIVE OAK	4	95	TEXAS ASH	16
33	LIVE OAK	4	96	TEXAS ASH	24
34	LIVE OAK	4	97	TEXAS ASH	13
35	BUR OAK	4	98	TEXAS ASH	18 M.T.
36	LIVE OAK	4	99	TEXAS ASH	11
37	BUR OAK	4	100	TEXAS ASH	10
38	LIVE OAK	4	101	TEXAS ASH	14
39	LIVE OAK	4	102	TEXAS ASH	12
40	BUR OAK	4	103	TEXAS ASH	18 M.T.
41	LIVE OAK	4	104	TEXAS ASH	14
42	LIVE OAK	4	105	TEXAS ASH	20
43	BUR OAK	5	106	TEXAS ASH	11
44	LIVE OAK	4	107	TEXAS ASH	16
45	LIVE OAK	4	108	AMERICAN ELM	13 M.T.
46	LIVE OAK	4	109	TEXAS ASH	11
47	BUR OAK	4	110	TEXAS ASH	16
48	LIVE OAK	4	111	TEXAS ASH	12
49	LIVE OAK	4	112	TEXAS ASH	10
50	LIVE OAK	4	113	TEXAS ASH	11
51	BUR OAK	4	114	TEXAS ASH	12
52	LIVE OAK	4	115	TEXAS ASH	14
53	RED BUD	3	116	TEXAS ASH	11
54	LIVE OAK	3	117	TEXAS ASH	12
55	RED BUD	3	118	TEXAS ASH	15
56	BUR OAK	5	119	TEXAS ASH	14
57	LIVE OAK	4	120	CEDAR	12' HT.
58	LIVE OAK	4	121	AMERICAN ELM	9 M.T.
59	LIVE OAK	4	122	COTTON WOOD	5
60	BUR OAK	5	123	COTTON WOOD	4
61	LIVE OAK	4	124	HACKBERRY	14
62	LIVE OAK	4	125	BUR OAK	3
63	LIVE OAK	4	126	LIVE OAK	4
64	LIVE OAK	4	127	LIVE OAK	10
65	BUR OAK	5	128	LIVE OAK	15
66	LIVE OAK	3	129	CEDAR ELM	12
67	LIVE OAK	5	130	CEDAR ELM	14
68	LIVE OAK	4	131	CEDAR ELM	14
69	LIVE OAK	4	132	CEDAR ELM	16 M.T.
70	BUR OAK	4	133	CEDAR ELM	10
71	LIVE OAK	4			
72	LIVE OAK	4			

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

TOTAL MITIGATION REQUIRED 472 INCHES



Date:	
Revisions:	
#	

Issued For:
CONSTRUCTION

Job No.
25137

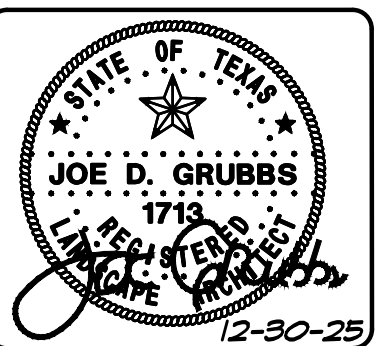
Scale
1" = 30'-0"

Drawn By:
JD6

Date
12-30-2025

Shipman Fire Building & Coffee Shop

Lot 3R, Block A, La Jolla Pointe Addition
Rockwall Texas

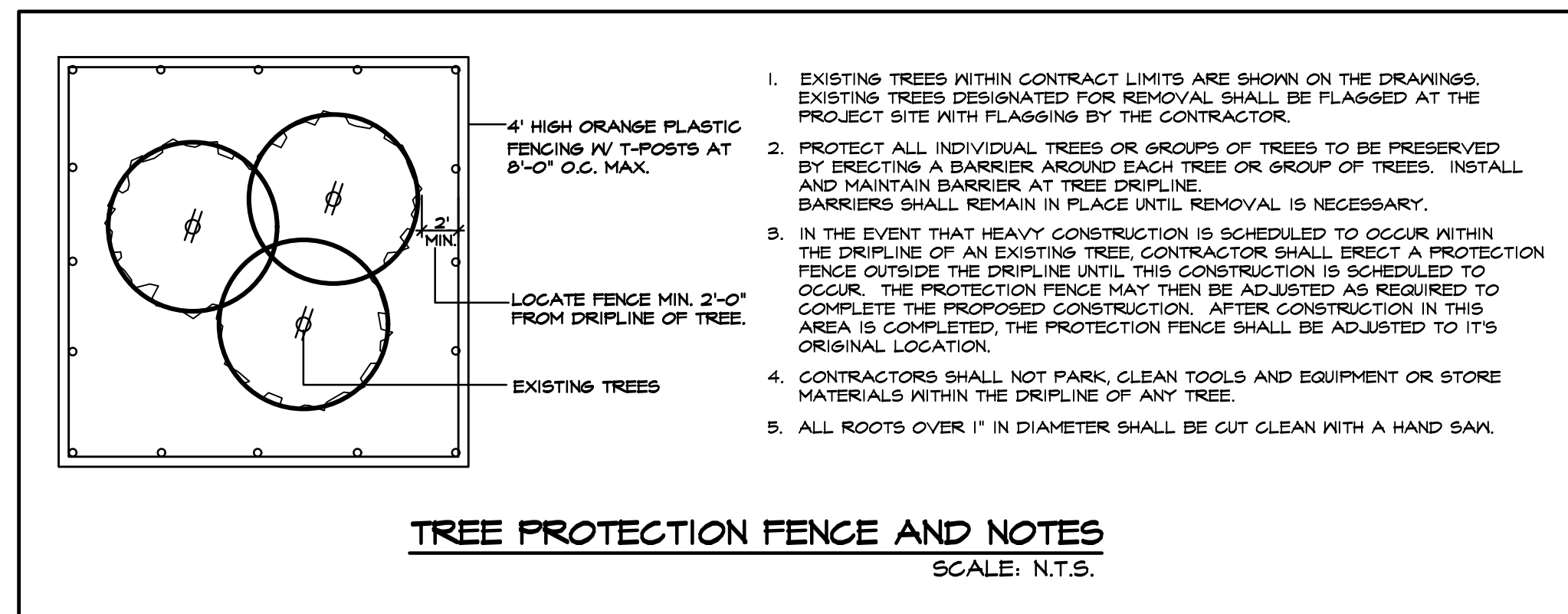


Sheet Title:
Treescape Plan

Sheet Number:
TS1
of TS2 Sheets

Tree ID No.	Tree Type	Tree Cal. Size	Preserved or Removed	Tree Health	Disease (Y/N)	Insect (Y/N)	Structural (Y/N)	Mitigation Required
10	LIVE OAK	14	PRESERVED	4	N	N	N	0
11	LIVE OAK	13 M.T.	PRESERVED	4	N	N	N	0
12	LIVE OAK	20 M.T.	PRESERVED	4	N	N	N	0
13	CEDAR ELM	10	PRESERVED	4	N	N	N	0
14	CEDAR ELM	9	PRESERVED	4	N	N	N	0
15	CEDAR ELM	7	PRESERVED	4	N	N	N	0
16	CEDAR ELM	7	PRESERVED	4	N	N	N	0
17	CEDAR ELM	7	PRESERVED	4	N	N	N	0
18	CEDAR ELM	7	PRESERVED	4	N	N	N	0
19	CEDAR ELM	6	PRESERVED	4	N	N	N	0
20	TEXAS ASH	21 M.T.	PRESERVED	4	N	N	N	0
21	LIVE OAK	4	PRESERVED	4	N	N	N	0
22	BUR OAK	5	PRESERVED	4	N	N	N	0
23	LIVE OAK	3	PRESERVED	4	N	N	N	0
24	LIVE OAK	4	REMOVED	4	N	N	N	4
25	MEXICAN PLUM	2	REMOVED	4	N	N	N	0
26	MEXICAN PLUM	2	REMOVED	4	N	N	N	0
27	MEXICAN PLUM	2	REMOVED	4	N	N	N	0
28	RED BUD	4	PRESERVED	4	N	N	N	0
29	LIVE OAK	4	REMOVED	4	N	N	N	4
30	LIVE OAK	4	REMOVED	4	N	N	N	4
31	LIVE OAK	4	PRESERVED	4	N	N	N	0
32	LIVE OAK	4	PRESERVED	4	N	N	N	0
33	LIVE OAK	4	PRESERVED	4	N	N	N	0
34	LIVE OAK	4	PRESERVED	4	N	N	N	0
35	BUR OAK	4	PRESERVED	4	N	N	N	0
36	LIVE OAK	4	PRESERVED	4	N	N	N	0
37	BUR OAK	4	PRESERVED	4	N	N	N	0
38	LIVE OAK	4	PRESERVED	4	N	N	N	0
39	LIVE OAK	4	REMOVED	4	N	N	N	4
40	BUR OAK	4	REMOVED	4	N	N	N	4
41	LIVE OAK	4	REMOVED	4	N	N	N	4
42	LIVE OAK	4	REMOVED	4	N	N	N	4
43	BUR OAK	5	PRESERVED	4	N	N	N	0
44	LIVE OAK	4	PRESERVED	4	N	N	N	0
45	LIVE OAK	4	PRESERVED	4	N	N	N	0
46	LIVE OAK	4	PRESERVED	4	N	N	N	0
47	BUR OAK	4	PRESERVED	4	N	N	N	0
48	LIVE OAK	4	PRESERVED	4	N	N	N	0
49	LIVE OAK	4	PRESERVED	4	N	N	N	0
50	LIVE OAK	4	PRESERVED	4	N	N	N	0
51	BUR OAK	4	PRESERVED	4	N	N	N	0
52	LIVE OAK	4	PRESERVED	4	N	N	N	0
53	RED BUD	3	PRESERVED	4	N	N	N	0
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55	RED BUD	3	PRESERVED	4	N	N	N	0
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57	LIVE OAK	4	PRESERVED	4	N	N	N	0
58	LIVE OAK	4	PRESERVED	4	N	N	N	0
59	LIVE OAK	4	PRESERVED	4	N	N	N	0
60	BUR OAK	5	PRESERVED	4	N	N	N	0
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62	LIVE OAK	4	PRESERVED	4	N	N	N	0
63	LIVE OAK	4	PRESERVED	4	N	N	N	0
64	LIVE OAK	4	PRESERVED	4	N	N	N	0
65	BUR OAK	5	PRESERVED	4	N	N	N	0
66	LIVE OAK	3	PRESERVED	4	N	N	N	0
67	LIVE OAK	5	PRESERVED	4	N	N	N	0
68	LIVE OAK	4	PRESERVED	4	N	N	N	0
69	LIVE OAK	4	PRESERVED	4	N	N	N	0
70	BUR OAK	4	PRESERVED	4	N	N	N	0
71	LIVE OAK	4	PRESERVED	4	N	N	N	0
72	LIVE OAK	4	PRESERVED	4	N	N	N	0
			TOTAL COLUMN MITIGATION REQUIRED					28 INCHES

TREE ID NO.	TREE TYPE	TREE CAL. SIZE	PRESERVED OR REMOVED	TREE HEALTH	DISEASE (Y/N)	INSECT (Y/N)	STRUCTURAL (Y/N)	MITIGATION REQUIRED
73	BUR OAK	4	PRESERVED	4	N	N	N	0
74	LIVE OAK	4	PRESERVED	4	N	N	N	0
75	LIVE OAK	4	PRESERVED	4	N	N	N	0
76	LIVE OAK	4	PRESERVED	4	N	N	N	0
77	LIVE OAK	5	PRESERVED	4	N	N	N	0
78	BUR OAK	4	PRESERVED	4	N	N	N	0
79	LIVE OAK	5	PRESERVED	4	N	N	N	0
80	BUR OAK	4	REMOVED	4	N	N	N	4
81	LIVE OAK	5	PRESERVED	4	N	N	N	0
82	TEXAS ASH	19 M.T.	PRESERVED	4	N	N	N	0
83	TEXAS ASH	18 M.T.	PRESERVED	4	N	N	N	0
84	LIVE OAK	5	PRESERVED	4	N	N	N	0
85	BUR OAK	4	PRESERVED	4	N	N	N	0
86	BUR OAK	4	PRESERVED	4	N	N	N	0
87	LIVE OAK	4	PRESERVED	4	N	N	N	0
88	TEXAS ASH	15	REMOVED	4	N	N	N	15
89	TEXAS ASH	14	REMOVED	2	N	N	Y	0
90	TEXAS ASH	11	REMOVED	4	N	N	N	11
91	TEXAS ASH	12	REMOVED	4	N	N	N	12
92	TEXAS ASH	14	REMOVED	4	N	N	N	14
93	TEXAS ASH	16	REMOVED	4	N	N	N	16
94	TEXAS ASH	11	REMOVED	4	N	N	N	11
95	TEXAS ASH	16	REMOVED	4	N	N	N	16
96	TEXAS ASH	24	REMOVED	4	N	N	N	24
97	TEXAS ASH	13	REMOVED	4	N	N	N	13
98	TEXAS ASH	18 M.T.	REMOVED	4	N	N	N	18
99	TEXAS ASH	11	REMOVED	4	N	N	N	11
100	TEXAS ASH	10	REMOVED	4	N	N	N	10
101	TEXAS ASH	14	REMOVED	4	N	N	N	14
102	TEXAS ASH	12	REMOVED	4	N	N	N	12
103	TEXAS ASH	18 M.T.	REMOVED	4	N	N	N	18
104	TEXAS ASH	14	REMOVED	4	N	N	N	14
105	TEXAS ASH	20	REMOVED	4	N	N	N	20
106	TEXAS ASH	11	REMOVED	4	N	N	N	11
107	TEXAS ASH	16	REMOVED	4	N	N	N	16
108	AMERICAN ELM	13 M.T.	REMOVED	4	N	N	N	13
109	TEXAS ASH	11	REMOVED	4	N	N	N	11
110	TEXAS ASH	16	REMOVED	4	N	N	N	16
111	TEXAS ASH	12	REMOVED	4	N	N	N	12
112	TEXAS ASH	10	REMOVED	4	N	N	N	10
113	TEXAS ASH	11	REMOVED	4	N	N	N	11
114	TEXAS ASH	12	REMOVED	4	N	N	N	12
115	TEXAS ASH	14	REMOVED	4	N	N	N	14
116	TEXAS ASH	11	REMOVED	4	N	N	N	11
117	TEXAS ASH	12	REMOVED	4	N	N	N	12
118	TEXAS ASH	15	REMOVED	4	N	N	N	15
119	TEXAS AH	14	REMOVED	4	N	N	N	14
120	CEDAR	12' HT.	REMOVED	4	N	N	N	4
121	AMERICAN ELM	9 M.T.	REMOVED	4	N	N	N	9
122	COTTON WOOD	5	REMOVED	4	N	N	N	0
123	COTTON WOOD	9	REMOVED	4	N	N	N	0
124	HACKBERRY	19	PRESERVED	4	N	N	N	0
125	BUR OAK	8	PRESERVED	4	N	N	N	0
126	LIVE OAK	9	PRESERVED	4	N	N	N	0
127	LIVE OAK	10	PRESERVED	4	N	N	N	0
128	LIVE OAK	15	PRESERVED	4	N	N	N	0
129	CEDAR ELM	12	PRESERVED	4	N	N	N	0
130	CEDAR ELM	14	PRESERVED	4	N	N	N	0
131	CEDAR ELM	14	PRESERVED	4	N	N	N	0
132	CEDAR ELM	16 M.T.	PRESERVED	4	N	N	N	0
133	CEDAR ELM	10	PRESERVED	4	N	N	N	0
			TOTAL COLUMN MITIGATION REQUIRED					444 INCHES
			TOTAL MITIGATION REQUIRED					472 INCHES



Date:									
Revisions:									
#									

Issued For:
CONSTRUCTION

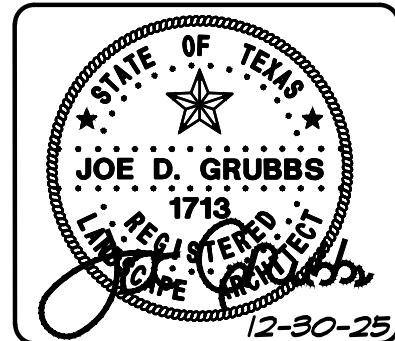
Job No.
25137

Scale
1" = 30'-0"

Drawn By:
JDS

Date
12-30-2025

**Shipman Fire Building
& Coffee Shop**
Lot 3R, Block A, La Jolla Pointe Addition
Rockwall Texas



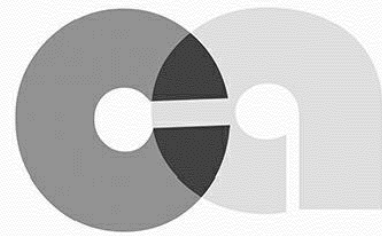
Sheet Title:

Treescape Plan

Sheet Number:

TS2

of TS2 Sheets



PHILLIP CRADDOCK, ARCHITECT
TEXAS 19207

CRADDOCK ARCHITECTURE
551 EMBARGO DR. FATE TEXAS 75183 214-952-0527

SHIPMAN FIRE PROTECTION

COPYRIGHT 2025 - CRADDOCK ARCHITECTURE PLLC. FOR USE ONLY ON A SPECIFIC SITE.

REVISION

#	Revision Date	Revision Description
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NEW OFFICE / STORAGE

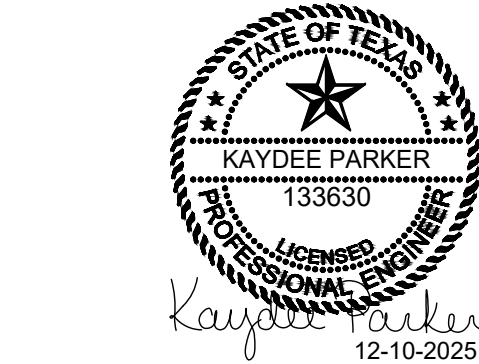
1020 La Jolla Pointe Drive
Rockwall, TX 75087

Project number 2024-001 Date 12-10-2025

SITE PLAN - PHOTOMETRICS

Scale: As indicated

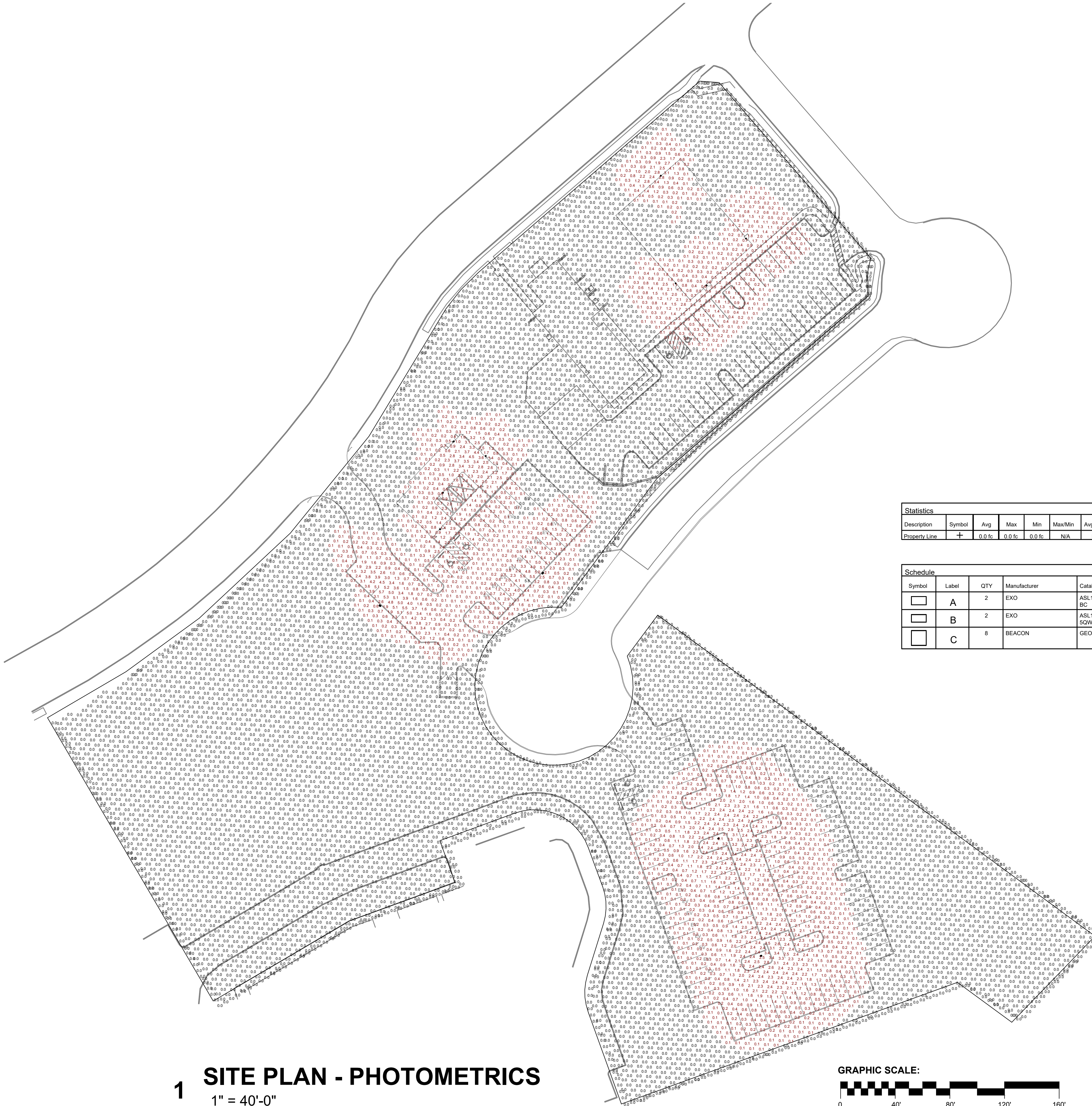
E101



TX FIRM #F-16408
5621 114TH ST., SUITE 100
LUBBOCK, TX 79424
PH: 806-701-5109
WWW.FINCHERENG.COM

1 SITE PLAN - PHOTOMETRICS

1" = 40'-0"



Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Property Line	+	0.0 fc	0.0 fc	0.0 fc	N/A	N/A

Schedule								
Symbol	Label	QTY	Manufacturer	Catalog	Description	Number Lamps	Lamp Output	LLF
	A	2	EXO	ASL1-160L-100-4K7-3-BC	AIRO MICROSTRIKE	1	8270	1
	B	2	EXO	ASL1-160L-100-4K7-50W		1	12073	1
	C	8	BEACON	GE01-24L-20-4K7-4W	GenPack Outdoor Wall-Pack w/ Type IV Lens	1	2465	1



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross, *Senior Planner*

DATE: January 13, 2026

SUBJECT: SP2025-044; *Amended Site Plan for 1575 Technology Way*

The applicant -- *Elliott Bogart of Triangle Engineering, LLC* --, is requesting approval of an *Amended Site Plan* to allow for the expansion of an existing *Warehouse/Distribution Facility* located at 1575 Technology Way. The subject property is described as Lot 1, Block C, Nolan Power Building Addition and is zoned Light Industrial (LI) District.

On April 10, 2012, the Planning and Zoning Commission approved *Site Plan* [i.e. *Case No. SP2012-007*] for the development of a ~20,000 SF warehouse and distribution center on the subject property. On December 12, 2025, the applicant submitted an *Amended Site Plan* proposing a building expansion of approximately 6,100 SF. Upon completion, the total building area will be approximately 26,100 square feet. The proposed use of the property will remain a warehouse, which is a permitted *by-right* land use within the Light Industrial (LI) District.

The subject property consists of approximately 2.11-acres. The proposed development will include a one (1) story building with a maximum height of approximately 28-feet, which complies with the height limitations of the Light Industrial (LI) District as established in Article 05, *District Development Standards*, of the Unified Development Code (UDC). Building placement and required setbacks shown on the *Amended Site Plan* are consistent with the applicable development standards.

The *Amended Site Plan* indicates a total of 29 parking spaces provided on site, while 27 parking spaces are required based on the proposed floor area. Two (2) handicap accessible parking spaces are provided, including one (1) van-accessible space, meeting accessibility requirements. Vehicular circulation, fire lane access, and service areas remain consistent with City standards and do not negatively impact on-site circulation or adjacent properties.

The building elevations continue to utilize tilt-up concrete wall panels in lieu of the minimum masonry and stone requirements outlined in Subsection 05.01, *General Industrial District Standards*, of the Unified Development Code (UDC). Specifically, the *General Industrial District Standards* require a minimum of 90.00% masonry construction with at least 20.00% natural or quarried stone on each façade. The proposed expansion mirrors the previously approved exception allowing tilt-wall construction and does not introduce new façade treatments that would exacerbate the existing approved deviations.

Landscaping for the site has been evaluated through the submitted *Landscape Plan* and demonstrates compliance with Article 09, *Tree Preservation and Landscaping*, of the Unified Development Code (UDC). The plan provides approximately 35.00% of the site area as landscaped open space, exceeding the minimum 15.00% requirement. Required street frontage landscaping along Technology Way and Observation Trail is satisfied through a combination of existing and proposed canopy and accent trees. Parking lot landscaping requirements are also being met by the submitted plan.

The Tree Preservation Plan identifies existing trees on the property and indicates that no protected trees are proposed for removal. All protected trees are shown to remain, and appropriate tree protection fencing, root protection zones, and construction notes are provided in accordance with the requirements of Article 09, *Tree Preservation and Landscaping*, of the Unified Development Code (UDC). As no protected trees are proposed for removal, no tree mitigation is required.

The proposed warehouse expansion is consistent with the City of Rockwall's Comprehensive Plan and the Future Land Use designation for a property designated for Employment/Technology land uses. The applicant's request represents an orderly expansion of an existing industrial use in an established employment center and meets the general aesthetics of the existing building.

Based on staff's review of the *Amended Site Plan* and the Building Elevations, Landscape Plan, Tree Preservation Plan, and Photometric Plan, the request is generally in compliance with all applicable provisions of the Unified Development Code (UDC), and is being placed on the consent agenda for consideration.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: SP2025-044
PROJECT NAME: Site Plan for 1575 Technology Way
SITE ADDRESS/LOCATIONS: 1575 Technology Way

CASE CAPTION: Discuss and consider a request by Elliott Bogart of Triangle Engineering, LLC on behalf of Spencer Shaw of SS Realty, LTD for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 2.11-acre parcel of land identified as Lot 1, Block C, Nolan Power Building Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 1575 Technology Way, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/19/2025	Approved w/ Comments

12/19/2025: SP2025-044: Amended Site Plan for 1575 Technology Way

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

- I.1 This is a request for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 2.11-acre parcel of land identified as Lot 1, Block C, Nolan Power Building Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, and addressed as 1575 Technology Way.
- I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.
- M.3 For reference, include the case number (SP2025-044) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
- M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Please provide a detail of the outside storage area and provide a letter detailing what is to be stored. (Subsection 01.05(E), of Article 05, UDC)

M.6 Site Plan:

(1) Please crosshatch any areas where there will be outside storage of any kind. Currently there are items stored where the addition will be. Please show where the new storage will be and provide screening.

M.7 Landscape Plan.

- (1) Cluster screening in the area just south of the new addition.
- (2) Continue the dock screening throughout the landscape area west of the building.
- (3) Plug a canopy tree in on the west side of the parking area.

M.8 Building Elevations.

- (1) Dash in the RTUs on the building elevations. RTUs will need to be screened from any view of the building.
- (2) Please provide the material percentages for each façade of the building. (Subsection 04.01, Article 05, UDC)
- (3) A minimum of 90% masonry materials is required on all building façades. (Subsection 06.01(C)a.2, Article 05, UDC). This will require a variance from the Planning and Zoning Commission.
- (4) A minimum of 20% natural or quarried stone is required on all building façades. (Subsection 06.01(C)a.1, Article 05, UDC). This will require a variance from the Planning and Zoning Commission.

I.9 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 6, 2026; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 13, 2026 Planning & Zoning Meeting.

I.10 Please note the scheduled meetings for this case:

- 1) Planning and Zoning Public Hearing meeting will be held on January 13, 2026.

I.11 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved w/ Comments

12/18/2025: 1. Min 5.5 sack mix
2. 3,600 psi min (6.5 sack mix)

General Comments:

General Items:

- Must meet City's 2023 Standards of Design and Construction
- 4% Engineering Inspection Fees
- Impact Fees (Roadway) and any water & sewer impact fees if additional or up sizing of the meter is done.
- No structures, including walls, allowed in easements.
- All retaining walls 3' and over must be engineered.
- All retaining walls 18" or taller must be rock, stone, or stone faced. Smooth faced concrete walls are not allowed.
- No signage is allowed within easements or ROW.
- No structures or fences is allowed within easements or ROW.
- Need to show existing and proposed utilities on the Site Plan.
- Additional comments may be provided at time of Site Plan and Engineering.

Drainage Items:

- Existing flow patterns must be maintained.
- No grate inlets allowed.
- Dumpster areas shall drain to an oil/water separator and then into the storm system.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Any public sewer lines must be a minimum of 8", and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- All commercial sewer connections must be made by a proposed or existing manhole.
- There is an existing 8" sewer main on the other side of Technology Way available for use.
- Water and sanitary sewer and storm sewer must be 10' apart.
- All public utilities must be centered within an easement. Min 20' utility easements.

- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

Roadway Paving Items:

- All driveways must meet City spacing requirements.
- All parking, storage, and drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
- No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without an approved City turnaround, 15'x64' striped no parking area.
- Drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/15/2025	Approved

No Comments

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
POLICE	Chris Cleveland	12/15/2025	Approved

No Comments


DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved w/ Comments

12/15/2025: There are more drought, shade, cold and wear tolerant turf varieties such as Tif Tuf and Tahoma 31. informational only

0 25 50 100 150 200 Feet

SP2025-044: Amended Site Plan for an Expansion
of an Existing Warehouse/ Manufacturing Facility
at 1575 Technology Way



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



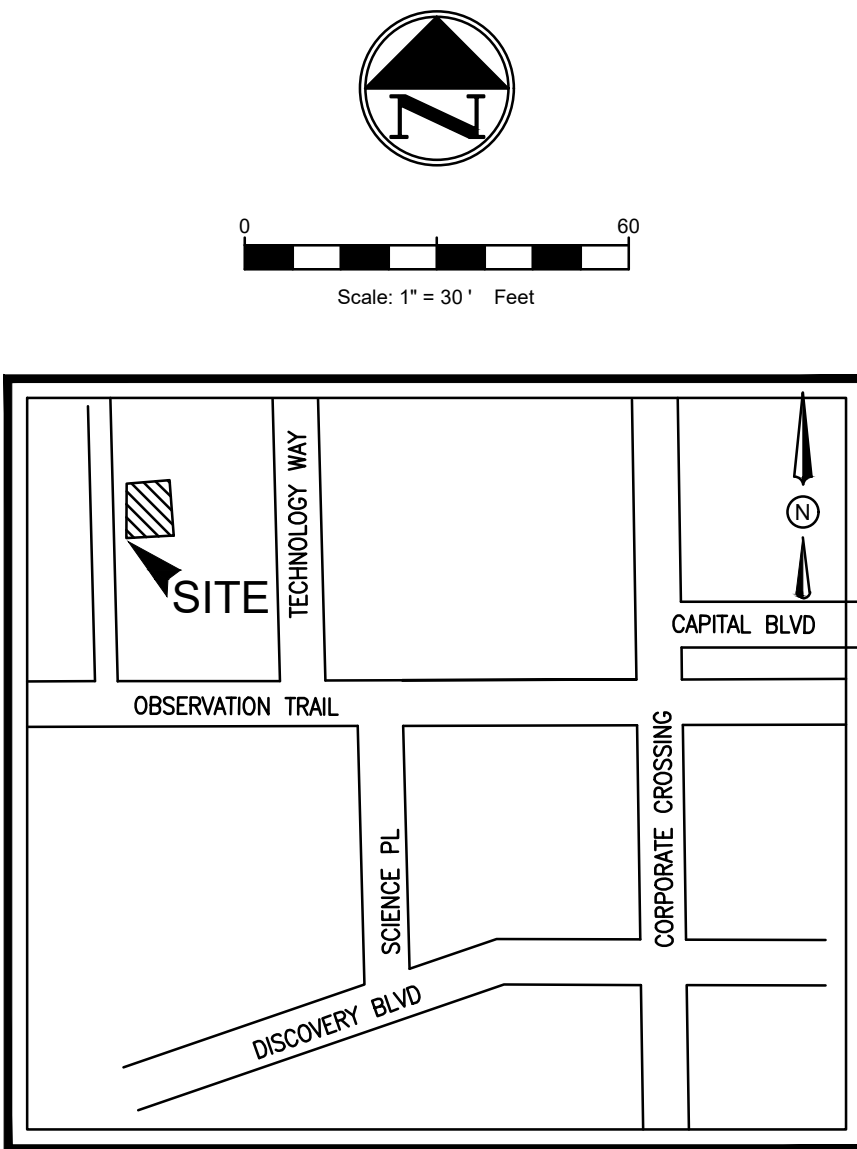
BOUNDARY LINE TABLE		
LINE #	DISTANCE	BEARING
L1	402.34'	N00°47'55"W
L2	229.25'	N89°30'15"E
L3	380.65'	S00°47'33"E
L4	28.99'	S44°12'27"W
L5	208.70'	S89°12'27"W

FLOOD PLAIN NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY OANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE WITHIN ZONE "X". (AREAS DETERMINED TO BE (INSIDE/OUTSIDE) THE (0.2% OR 1%) ANNUAL FLOODPLAIN. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR ITS STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND		
● 1/2" IR FOUND	○ 1/2" IR FOUND	○ 1/2" IR FOUND
● 1/2" IR SET	○ 1/2" IR SET	○ 1/2" IR SET
● 3/8" IR FOUND	○ 3/8" IR FOUND	○ 3/8" IR FOUND
● 3/8" IR SET	○ 3/8" IR SET	○ 3/8" IR SET
● 60-D NAIL FOUND	○ 60-D NAIL FOUND	○ 60-D NAIL FOUND
● PK NAIL SET	○ PK NAIL SET	○ PK NAIL SET
● 1/2" IP FOUND	○ 1/2" IP FOUND	○ 1/2" IP FOUND
● X-FOUND	○ X-FOUND	○ X-FOUND
● 1" IR FOUND	○ 1" IR FOUND	○ 1" IR FOUND
● 1" IP FOUND	○ 1" IP FOUND	○ 1" IP FOUND
● POINT FOR CORNER	○ POINT FOR CORNER	○ POINT FOR CORNER
■ CON. MONUMENT	○ CON. MONUMENT	○ CON. MONUMENT
■ TELE. BOX	○ TELE. BOX	○ TELE. BOX
■ CABLE BOX	○ CABLE BOX	○ CABLE BOX
■ ELECTRIC BOX	○ ELECTRIC BOX	○ ELECTRIC BOX
■ BRICK COLUMN	○ BRICK COLUMN	○ BRICK COLUMN
■ STONE COLUMN	○ STONE COLUMN	○ STONE COLUMN
○ STORM DRAIN MH.	○ STORM DRAIN MH.	○ STORM DRAIN MH.
○ SAN. SEW. CO.	○ SAN. SEW. CO.	○ SAN. SEW. CO.
○ BOLLARD POST	○ BOLLARD POST	○ BOLLARD POST
○ LIGHT POLE	○ LIGHT POLE	○ LIGHT POLE
○ SAN. SEW. MH.	○ SAN. SEW. MH.	○ SAN. SEW. MH.
○ IRRIGATION VALVE	○ IRRIGATION VALVE	○ IRRIGATION VALVE
○ WATER VALVE	○ WATER VALVE	○ WATER VALVE
○ FIRE HYDRANT	○ FIRE HYDRANT	○ FIRE HYDRANT
○ UTILITY POLE	○ UTILITY POLE	○ UTILITY POLE
○ WATER METER	○ WATER METER	○ WATER METER
○ GAS METER	○ GAS METER	○ GAS METER
○ A.C. PAD	○ A.C. PAD	○ A.C. PAD
○ TRANS. BOX	○ TRANS. BOX	○ TRANS. BOX
○ GAS MARKER	○ GAS MARKER	○ GAS MARKER
○ OVERHEAD UTILITY LINE	○ OVERHEAD UTILITY LINE	○ OVERHEAD UTILITY LINE
○ GUY WIRE ANCHOR	○ GUY WIRE ANCHOR	○ GUY WIRE ANCHOR
○ BARBED WIRE FENCE	○ BARBED WIRE FENCE	○ BARBED WIRE FENCE
○ IRON FENCE	○ IRON FENCE	○ IRON FENCE
○ CHAINLINK FENCE	○ CHAINLINK FENCE	○ CHAINLINK FENCE
○ WOOD FENCE	○ WOOD FENCE	○ WOOD FENCE
○ PIPE RAIL FENCE	○ PIPE RAIL FENCE	○ PIPE RAIL FENCE
○ COVERED AREA	○ COVERED AREA	○ COVERED AREA
○ ASPHALT	○ ASPHALT	○ ASPHALT
○ FIRE LANE STRIPE	○ FIRE LANE STRIPE	○ FIRE LANE STRIPE
○ BRICK RET. WALL	○ BRICK RET. WALL	○ BRICK RET. WALL
○ STONE RET. WALL	○ STONE RET. WALL	○ STONE RET. WALL
○ CON. RET. WALL	○ CON. RET. WALL	○ CON. RET. WALL
○ NO PARKING	○ NO PARKING	○ NO PARKING
○ CONCRETE	○ CONCRETE	○ CONCRETE
○ GRAVEL	○ GRAVEL	○ GRAVEL
○ BRICK	○ BRICK	○ BRICK
○ STONE	○ STONE	○ STONE
○ WOOD DECK	○ WOOD DECK	○ WOOD DECK
○ BUILDING WALL	○ BUILDING WALL	○ BUILDING WALL
○ TILE	○ TILE	○ TILE
○ BUILDING LINE	○ BUILDING LINE	○ BUILDING LINE
○ EASEMENT	○ EASEMENT	○ EASEMENT
○ BOUNDARY	○ BOUNDARY	○ BOUNDARY
○ HIGHBANK LINE	○ HIGHBANK LINE	○ HIGHBANK LINE
○ PARKING STRIPE	○ PARKING STRIPE	○ PARKING STRIPE
○ HANDICAP SPACE	○ HANDICAP SPACE	○ HANDICAP SPACE



VICINITY MAP
N.T.S.

SITE DATA SUMMARY TABLE	
SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED 1 SP PER 1000 S.F.	27 SPACES
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

- SITE GENERAL NOTES**
- ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
 - THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
 - WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
 - ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
 - THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
 - ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
 - THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
 - ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
 - AREA UNDER DUMPSTER SHALL DRAIN TO THE PROPOSED OIL SEPARATER.

SITE LEGEND	
CONCRETE CURB	=====
SAW-CUT LINE	=====
FENCE	=====
FIRE LANE	=====
STRIPING	=====
PARKING SPACES	[X]
MONUMENT/PYLON SIGN	[Sign]
WHEEL STOPS	[Wheel Stop]
HANDICAP LOGO	[Handicap Logo]
HANDICAP SIGN	[Handicap Sign]
RAMP	[Ramp]
BOLLARD	[Bollard]
TRAFFIC ARROW	[Traffic Arrow]
FIRE HYDRANT	[Fire Hydrant]
DUMPSTER	[Dumpster]
SANITARY SEWER MANHOLE	[Manhole]
SANITARY SEWER CLEANOUT	[Cleanout]
SANITARY SEWER DOUBLE CLEANOUT	[Double Cleanout]
SANITARY SEWER SAMPLE PORT	[Sample Port]
GREASE TRAP	[Grease Trap]
DOMESTIC WATER METER	[Water Meter]
IRRIGATION METER	[Irrigation Meter]
GAS METER	[Gas Meter]
TRANSFORMER	[Transformer]
LIGHT POLE	[Light Pole]
POWER POLE	[Power Pole]

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN"

TABLE 1: PAVEMENT DESIGN THICKNESS

STREET/PAVEMENT TYPE	MINIMUM THICKNESS (INCHES)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
PARKING LOT	6"	3000	#3	18"	CONCRETE (6.5 SACK/C.Y.)
FIRE LANE/DRIVE AISLE	6"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)
DUMPSTER PAD	7"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)

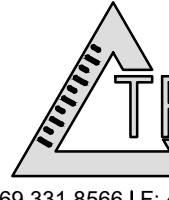
NOTE: PER SOIL REPORT RECOMMENDATIONS LIME STABILIZATIONS CAN BE ELIMINATED BY INCREASING PAVEMENT THICKNESS BY 1"

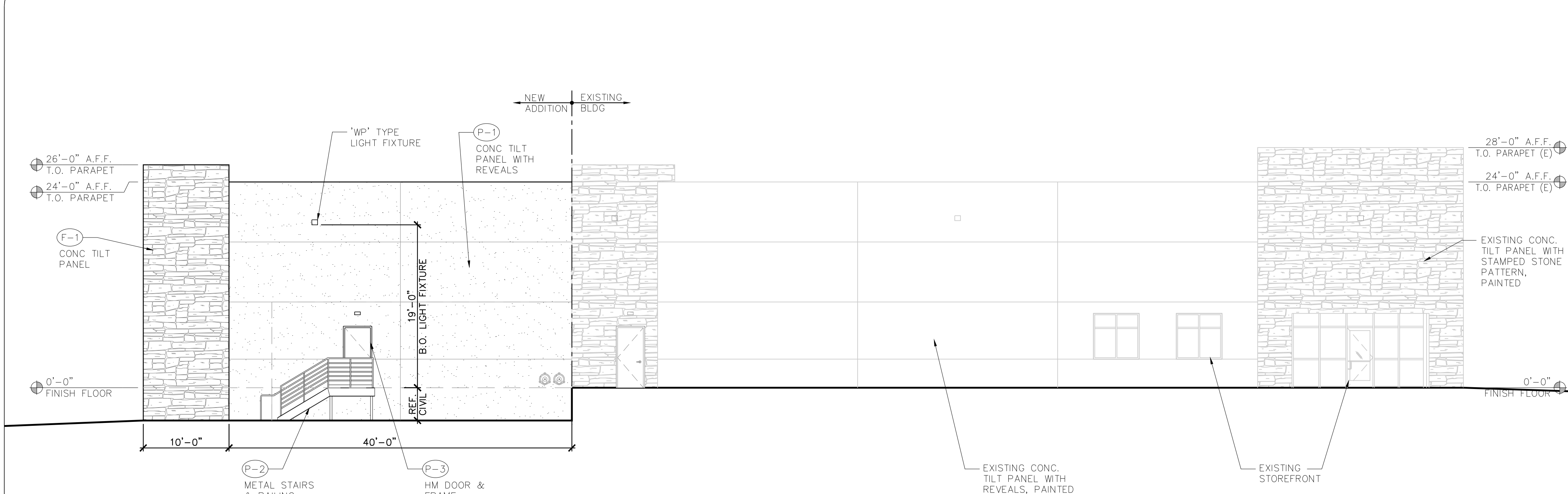
PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-9321	ARCHITECT FRANZ AECHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107



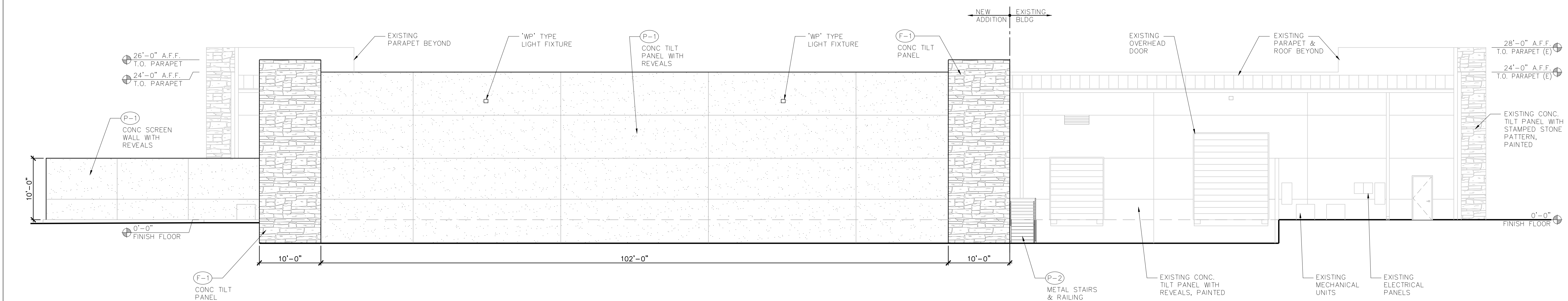
NO.	DATE	DESCRIPTION	BY
1	12/12/25	1st CITY SUBMITTAL	PK
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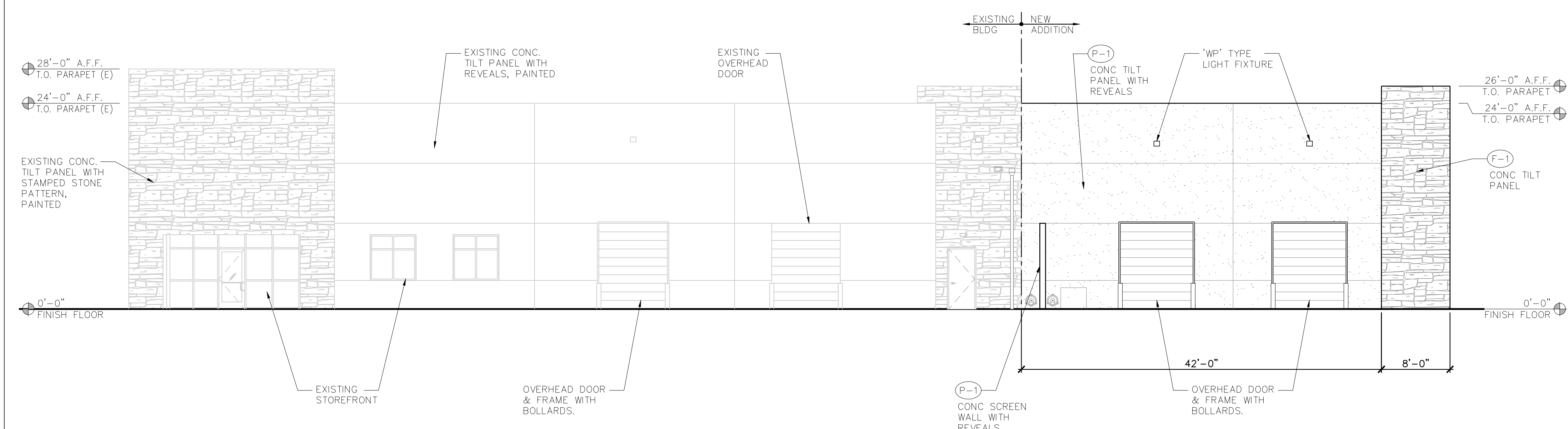
SITE PLAN					
WAREHOUSE ADDITION					
OBSERVATION TRAIL AND TECHNOLOGY WAY					
CITY OF ROCKWALL					
ROCKWALL COUNTY, TEXAS 75032					
NOLAN POWER BUILDING LOT 1 BLOCK C					
<div> TRIANGLE ENGINEERING LLC</div> <p>T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com W: triangle-engr.com O: 1782 W. McDermott Drive, Allen, TX 75013</p>					
Planning Civil Engineering Construction Management					
P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	12/12/25	SEE SCALE BAR	162-25	C-3.0
TX. P.E. FIRM #11525					



1 SOUTH ELEVATION
SCALE: 1/8" = 1'-0"



2 WEST ELEVATION
SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION
SCALE: 1/8" = 1'-0"

EXTERIOR FINISH SCHEDULE			
ITEM	COLOR	MANUFACTURER	REMARKS
F-1 STAMPED STONE PATTERN	SW 7010 WHITE DUCK	SHERWIN WILLIAMS	MATCH EXISTING FORMLINER STONE PATTERN
P-1 PAINT FINISH - FIELD COLOR	SW 6071 POPULAR GRAY	SHERWIN WILLIAMS	TEXTURED PAINT
P-2 PAINT FINISH - STAIR & RAILING	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS	MATCH EXISTING
P-3 PAINT FINISH - HM DOOR & FRAME	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS	MATCH EXISTING
OVER HEAD DOOR & FRAME	MATCH EXISTING	BEST SOURCE	-

**G.C. SHALL SUBMIT SAMPLES FOR ARCHITECT'S APPROVAL

FINISH LEGEND	
STONE PATTERN	TEXTURED PAINT

PRELIMINARY
NOT TO BE USED
FOR
REGULATORY
APPROVAL,
PERMITTING OR
CONSTRUCTION

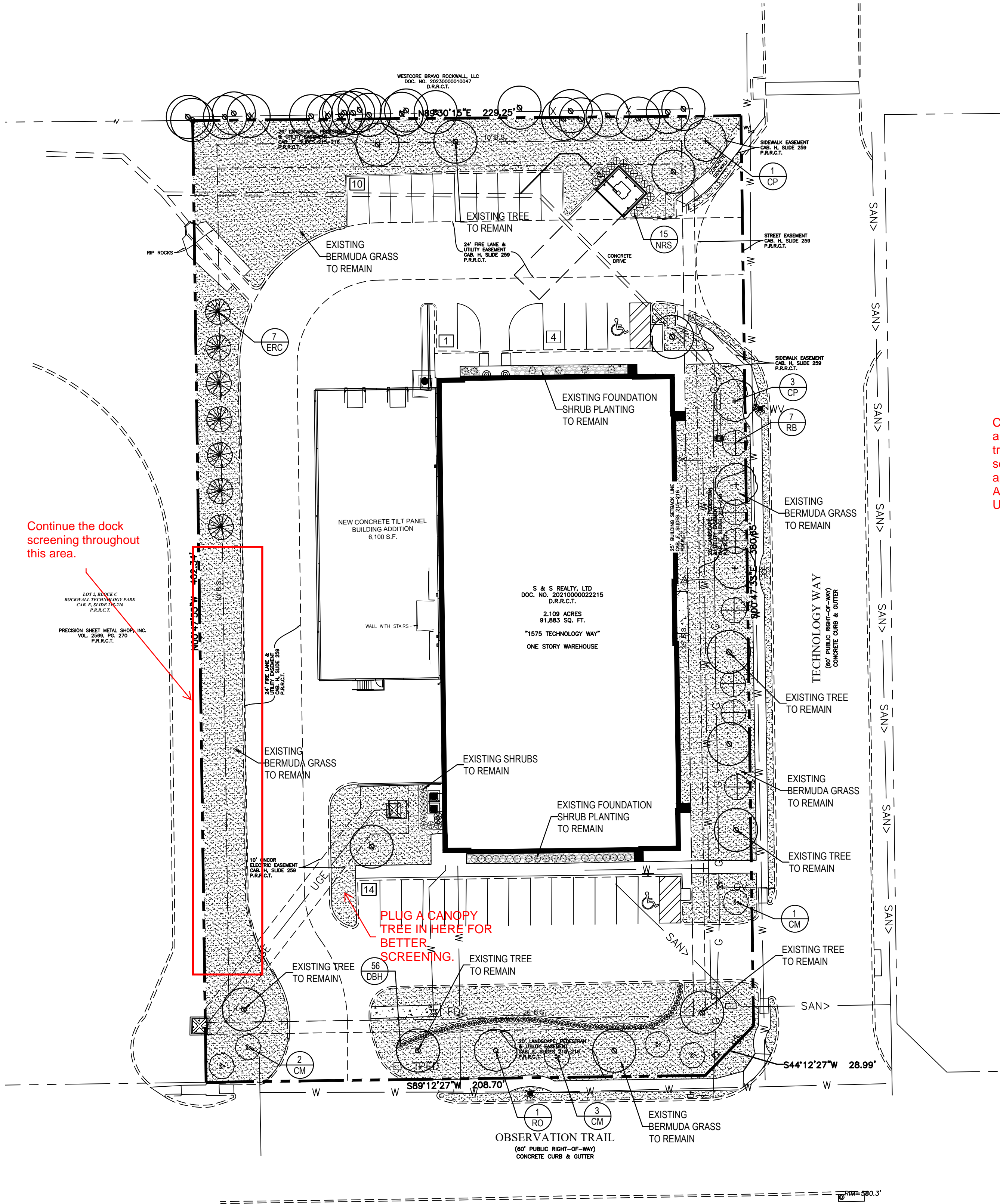


STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

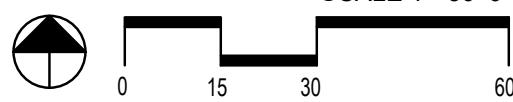
File Name: 25233-A2.0
Project No: 25233
Date: 12/08/2025
Drawn By: JLB
Checked By: TI

SHEET
A2.0
EXTERIOR
ELEVATIONS



01 LANDSCAPE PLAN

SCALE 1"=30'-0"



EXISTING PLANT LEGEND:

- EXISTING TREE
- EXISTING RED YUCCA
- EXISTING DWARF YAUPOH HOLLY
- EXISTING BERMUDA GRASS

PROPOSED PLANT LEGEND:

- CHINESE PISTACHE - 4" CALIPER
- RED OAK - 4" CALIPER
- GRAPE MYRTLE - 4' HEIGHT
- EASTERN RED CEDAR - 4' HEIGHT
- REDBUD - 4' HEIGHT
- DWARF BURFORD HOLLY - 5 GALLON
- NELLIE R. STEVENS HOLLY - 7 GALLON

Crape Myrtles are not an approved accent tree. Please choose something from the approved plantings in Appendix C of the UDC.

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Total Site Area 91,878.41 S.F.)
Requirements: A minimum 15% of the site area to be landscaped.

Required 13,782 S.F. (15%) Provided 28,884 S.F. (35%)

FRONT YARD REQUIREMENTS

Requirements: A minimum 50% of required landscape must be located in front yard.

STREET REQUIREMENTS

Requirements: A minimum (1) canopy tree (4" cal) and (1) accent tree (4' ht.) per 50 L.F. of frontage.

OBSERVATION TRAIL (224 L.F.)

Required (5) Canopy trees (5) Accent trees Provided (4) Existing Canopy Trees & (1) Proposed Canopy Tree (5) Proposed Accent Trees

TECHNOLOGY WAY (395 L.F.)

Required (8) Canopy Trees (8) Accent Trees Provided (4) Existing Canopy Trees & (4) Proposed Canopy Trees (8) Proposed Accent Trees

PARKING LOT REQUIREMENTS (29 Spaces)

Requirements: A minimum (1) canopy tree (4" cal.) per 20 parking spaces.

Required (2) Canopy Trees Provided (2) Existing Canopy Trees

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UGS

PLANT MATERIAL SCHEDULE

TREES	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	RO	4	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container, 12" ht., 5' spread, 6" clear straight trunk
		1	Red Oak	<i>Quercus rubra</i>	4" cal.	
		6	Crape Myrtle	<i>Lagerstroemia indica</i>	4" ht.	
		7	Eastern Red Cedar	<i>Juniperus virginiana</i>	4" ht.	
ERC	RB	7	Redbud	<i>Cercis canadensis</i>	4" ht.	container, 4" ht., 3' spread, single straight trunk

SHRUBS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	NRS	56	Dwarf Burford Holly	<i>Ilex cornuta</i>	5 gal.	container, 24" ht., 20" spread
		15	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	

GROUNDCOVERS	TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
			'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

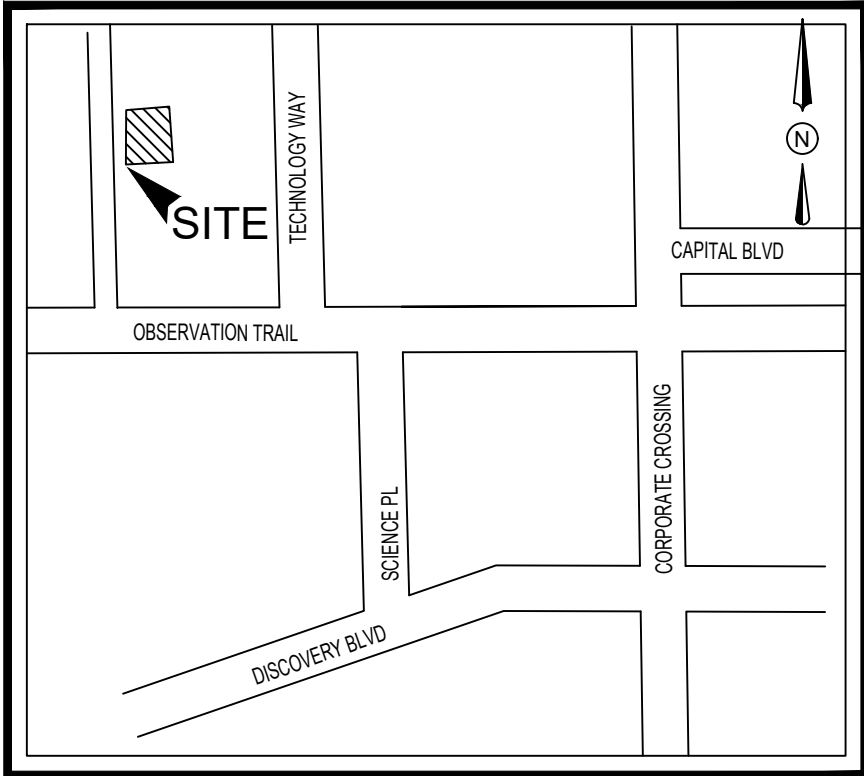
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE

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1 SP PER 1000 S.F.	
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HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
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PROJECT CONTACT LIST

ENGINEER	OWNER/DEVELOPER
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VICINITY MAP

N.T.S.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____.

WITNESS OUR HANDS, THIS ____ day of ____.

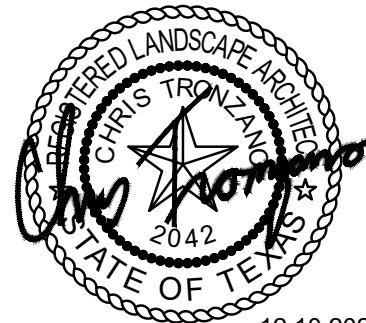
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448

CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

DATE:

12.10.2025

SHEET NAME:
LANDSCAPE PLAN

SHEET NUMBER:

L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1990, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.

- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

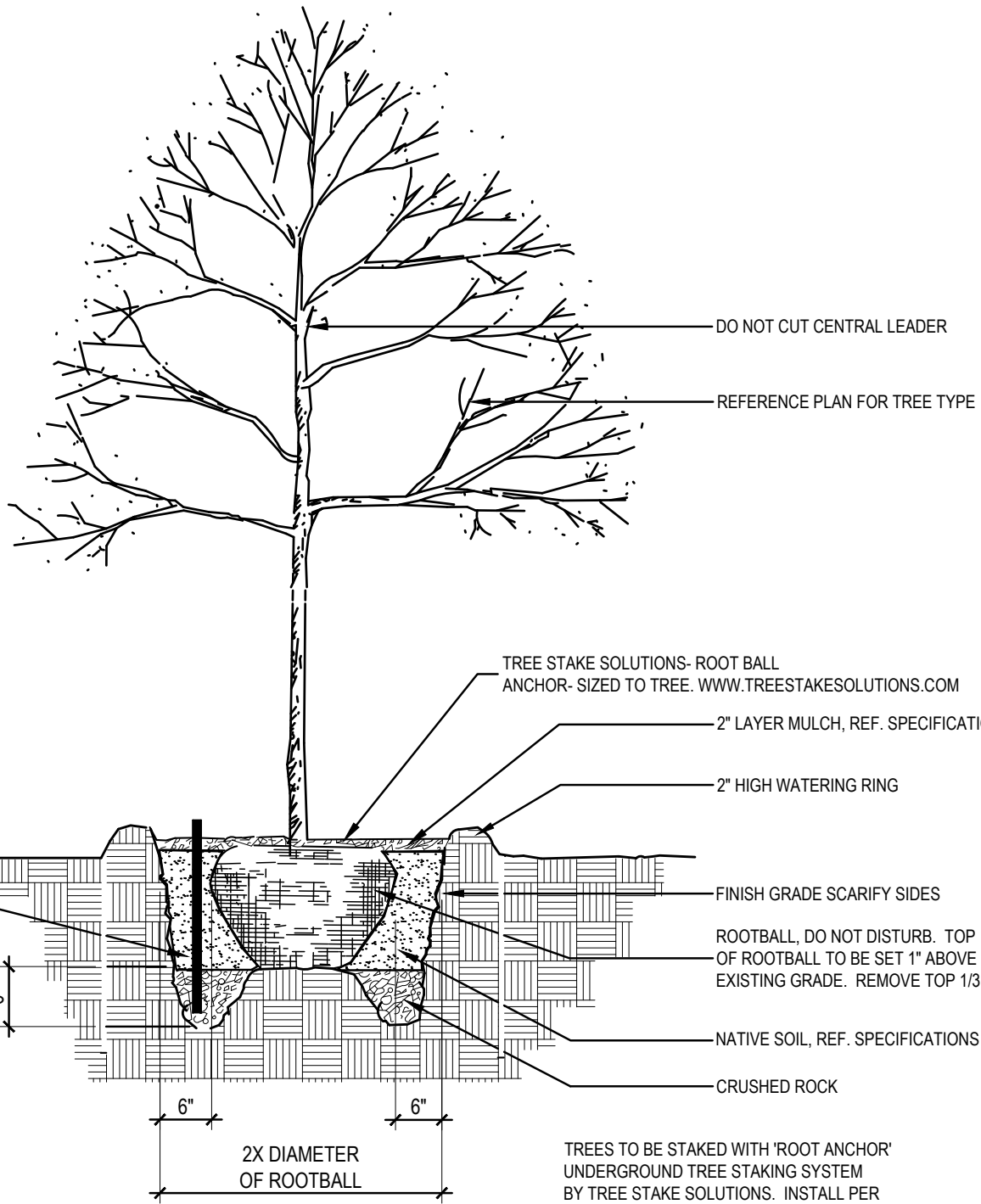
- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

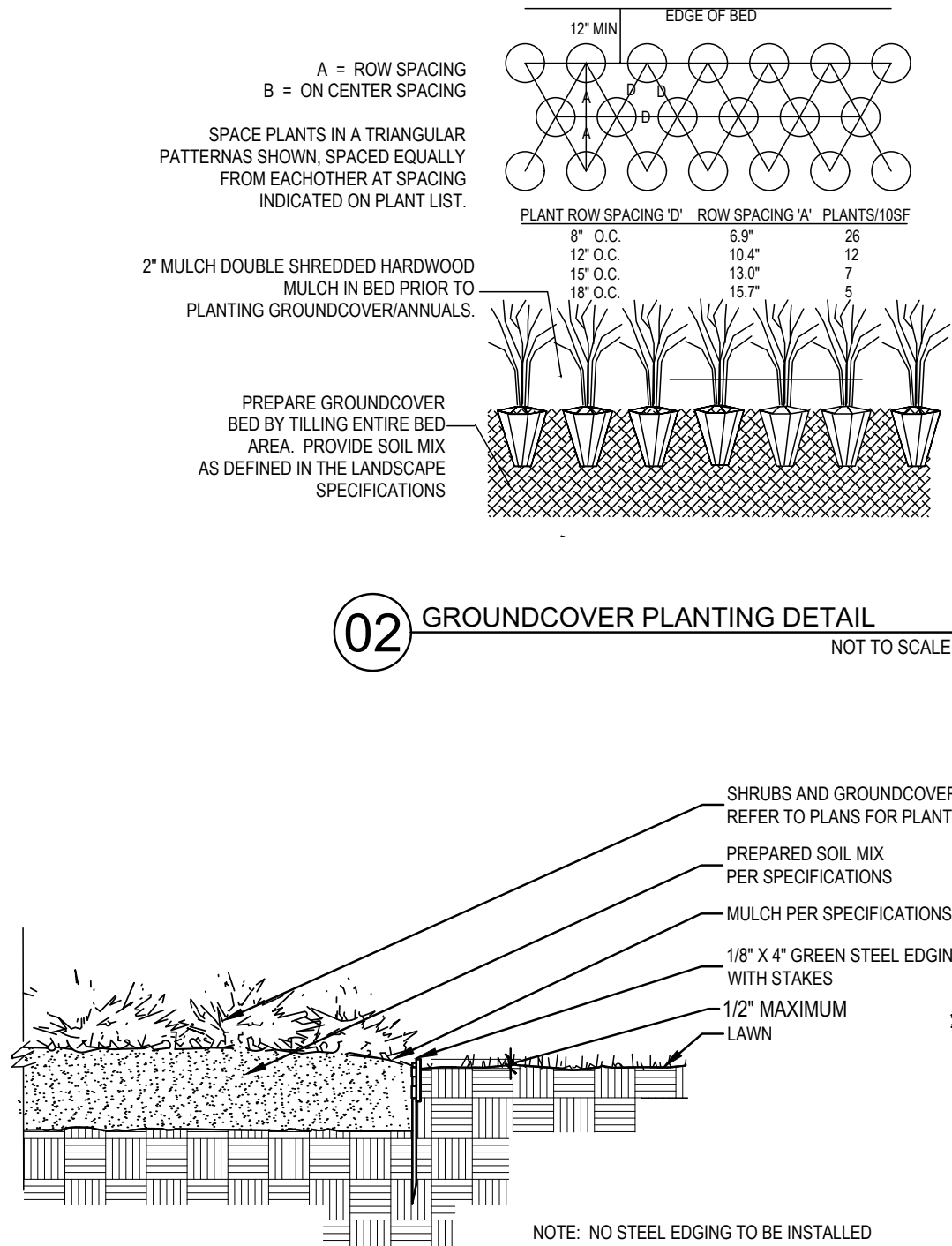
2.3 MISCELLANEOUS MATERIALS

- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo-co with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



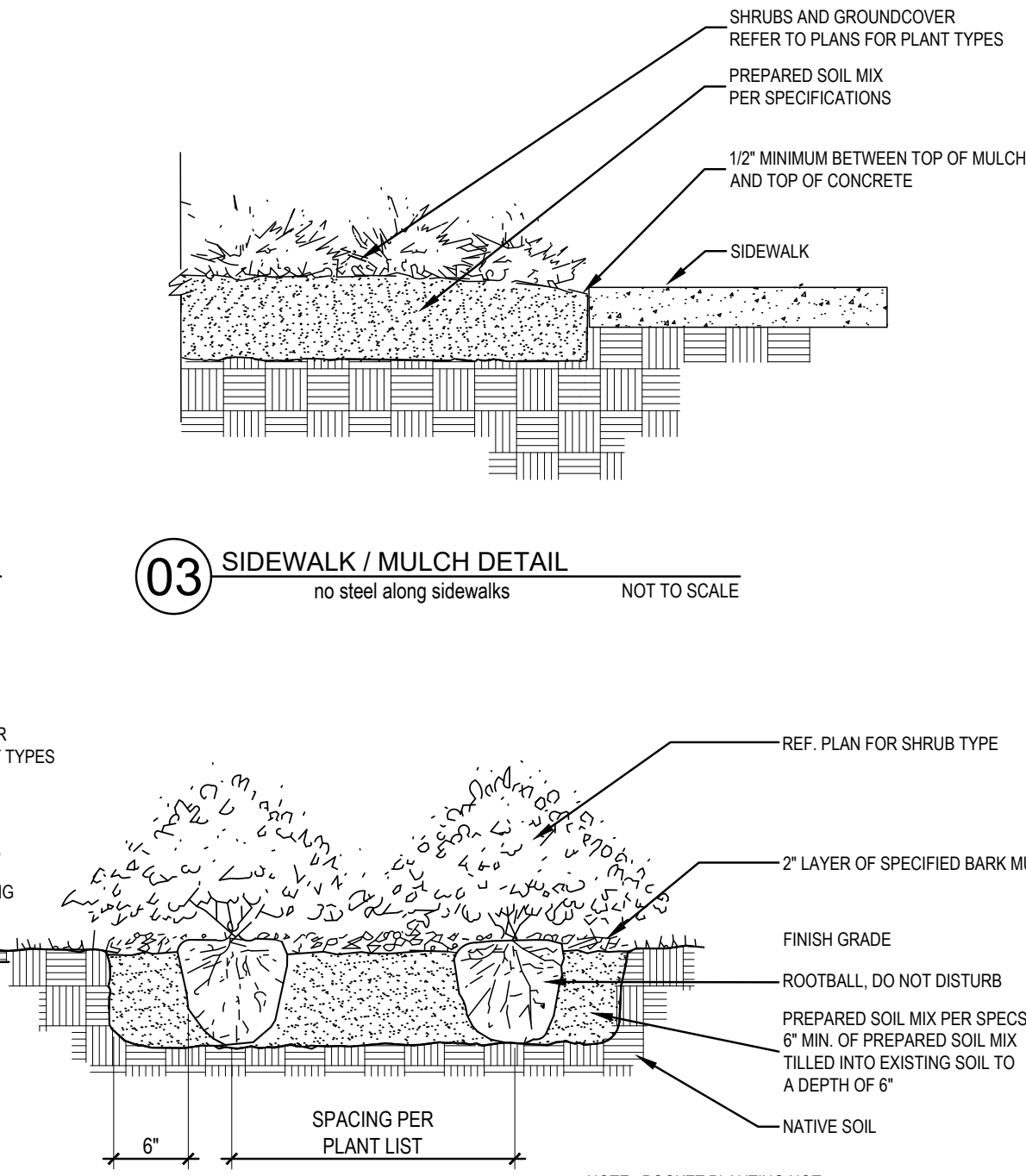
01 TREE PLANTING DETAIL

NOT TO SCALE



02 GROUNDCOVER PLANTING DETAIL

NOT TO SCALE



03 SIDEWALK / MULCH DETAIL

NOT TO SCALE

04 STEEL EDGING DETAIL

NOT TO SCALE

05 SHRUB PLANTING DETAIL

NOT TO SCALE

PROJECT CONTACT LIST	
ENGINEER TRIANGULAR ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA B PATEL, P.E. PHONE: 469-331-5568	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-8321	ARCHITECT FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, THIS ____ day of ____, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

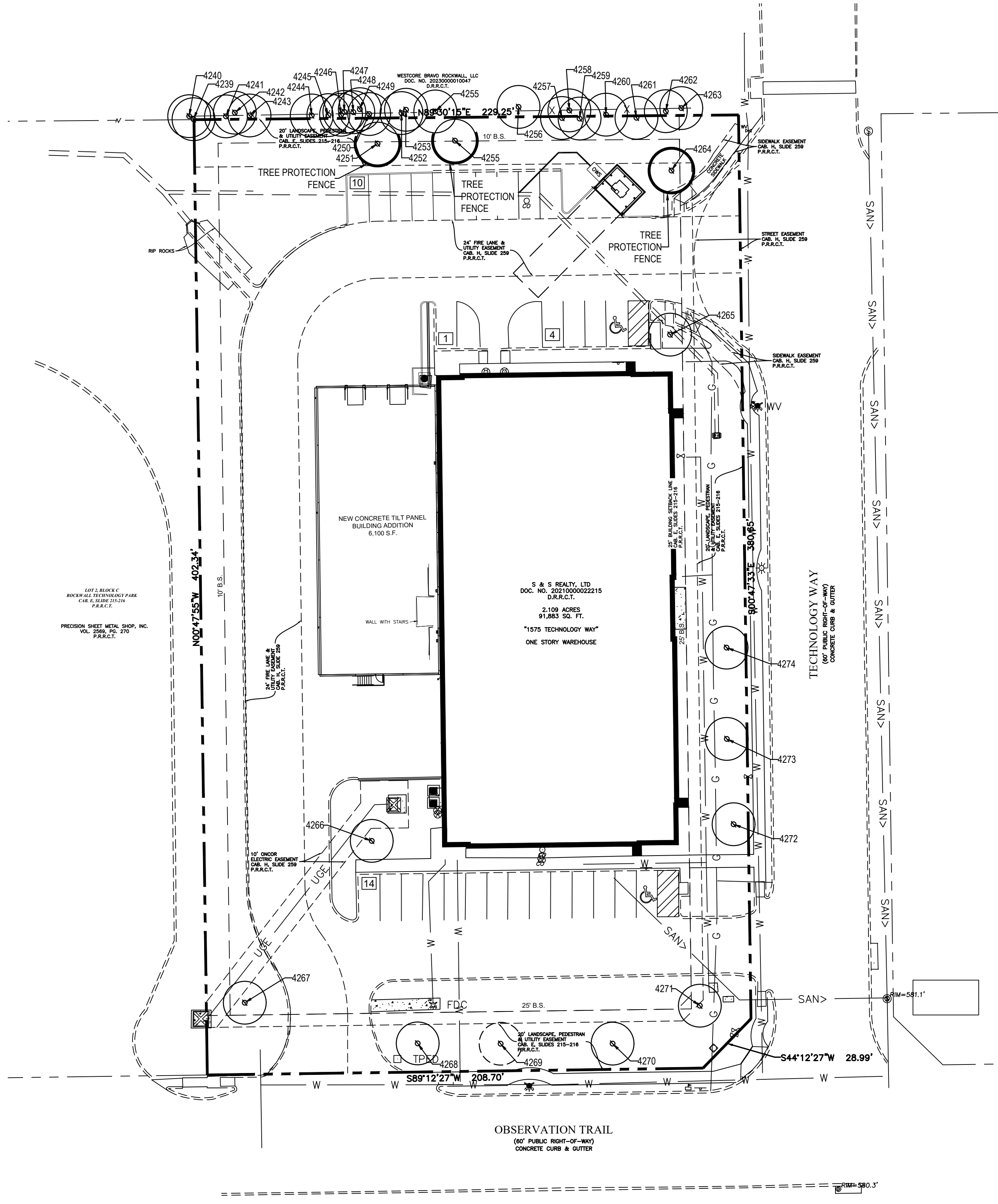
DATE:

12.10.2025

SHEET NAME:
LANDSCAPE SPECIFICATIONS

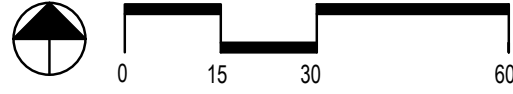
SHEET NUMBER:

L.3



01 TREE PRESERVATION PLAN

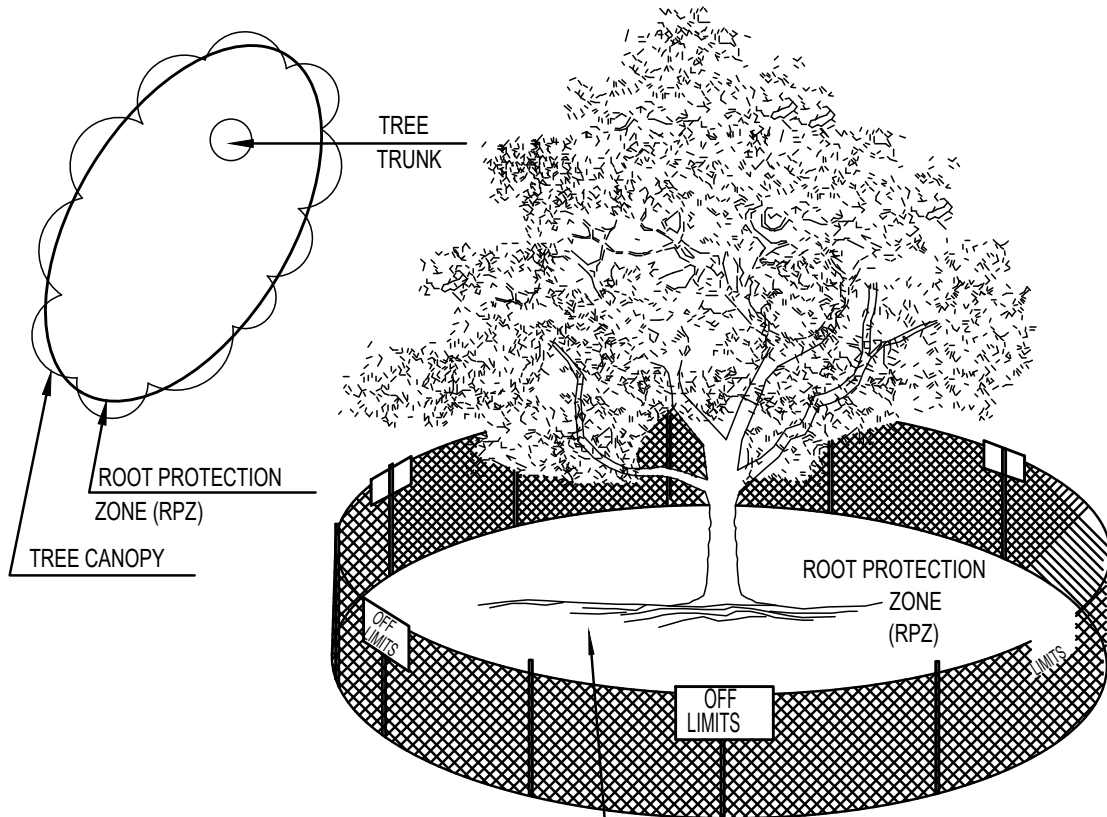
SCALE 1"=30'-0"



TREE SURVEY FIELD DATA

NO.	SIZE (DBH)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS	MITIGATION REQUIRED
4239	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4240	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4241	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4242	16"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4243	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4244	14"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4245	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4246	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4247	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4248	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4249	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4250	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4251	25"	BODARK	NON-PROTECTED	TO REMAIN	0"
4252	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4253	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4254	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4255	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4256	8"	HERCULES	PROTECTED	TO REMAIN	0"
4257	36"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4258	6"	EASTERN RED CEDAR	PROTECTED	TO REMAIN	0"
4259	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4260	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4261	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4262	6"	HERCULES	PROTECTED	TO REMAIN	0"
4263	8"	EASTERN RED CEDAR	NON-PROTECTED	TO REMAIN	0"
4264	12"	OAK	PROTECTED	TO REMAIN	0"
4265	8"	ASH	PROTECTED	TO REMAIN	0"
4266	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4267	10"	LIVE OAK	PROTECTED	TO REMAIN	0"
4268	10"	OAK	PROTECTED	TO REMAIN	0"
4269	10"	OAK	DAMAGED	TO BE REMOVED	0"
4270	10"	OAK	PROTECTED	TO REMAIN	0"
4271	10"	OAK	PROTECTED	TO REMAIN	0"
4272	10"	OAK	PROTECTED	TO REMAIN	0"
4273	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4274	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"

NO PROTECTED TREES TO BE REMOVED
NO MITIGATION REQUIRED



NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC
ONLY AND WILL CONFORM TO THE DRIP LINE
AND LIMITED TO PROJECT BOUNDARY

01 TREE PROTECTION FENCE A

NOT TO SCALE

01

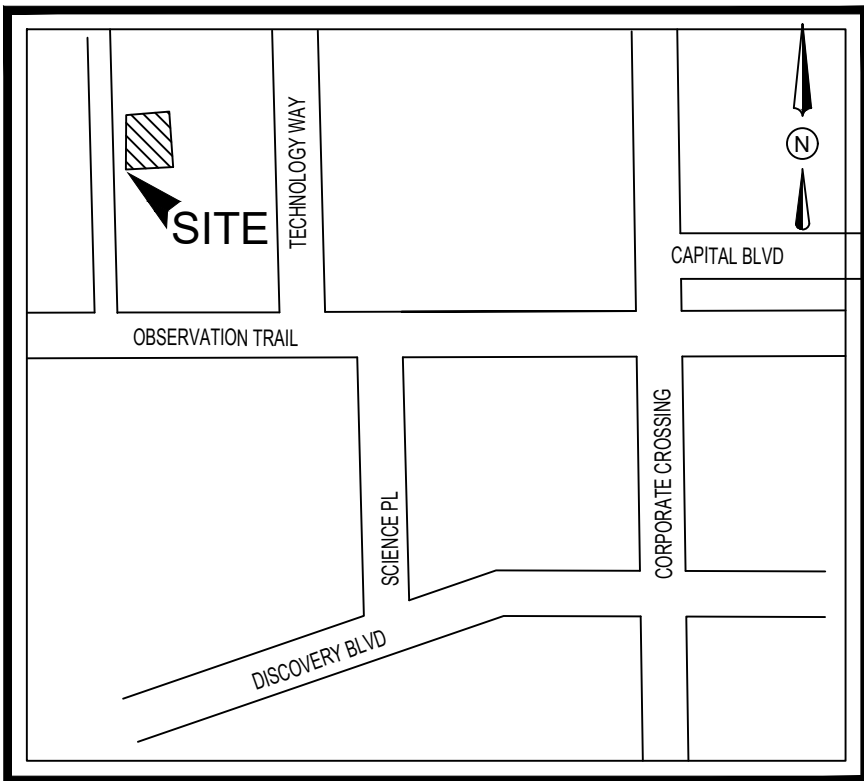
SITE DATA SUMMARY TABLE	
SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED	27 SPACES
1 SP PER 1000 S.F.	
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-5568	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-530-7800
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APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, THIS ____ day of ____, ____.

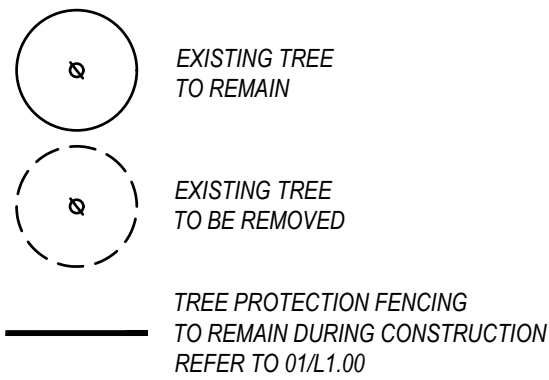
Planning & Zoning Commission, Chairman Director of Planning and Zoning



VICINITY MAP

N.T.S.

EXISTING TREE LEGEND

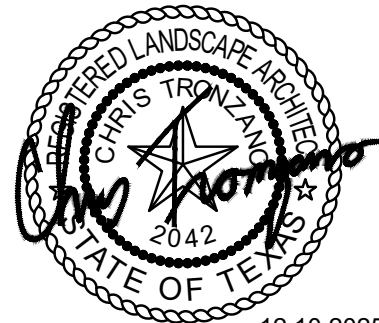


EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIPLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIPLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIPLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIPLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY- EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIPLINE. THE PROTECTIVE FENCING MAYBE COMPRISED OF SNOW FENCING, ORANGE VINYL CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCIrcLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

DATE:

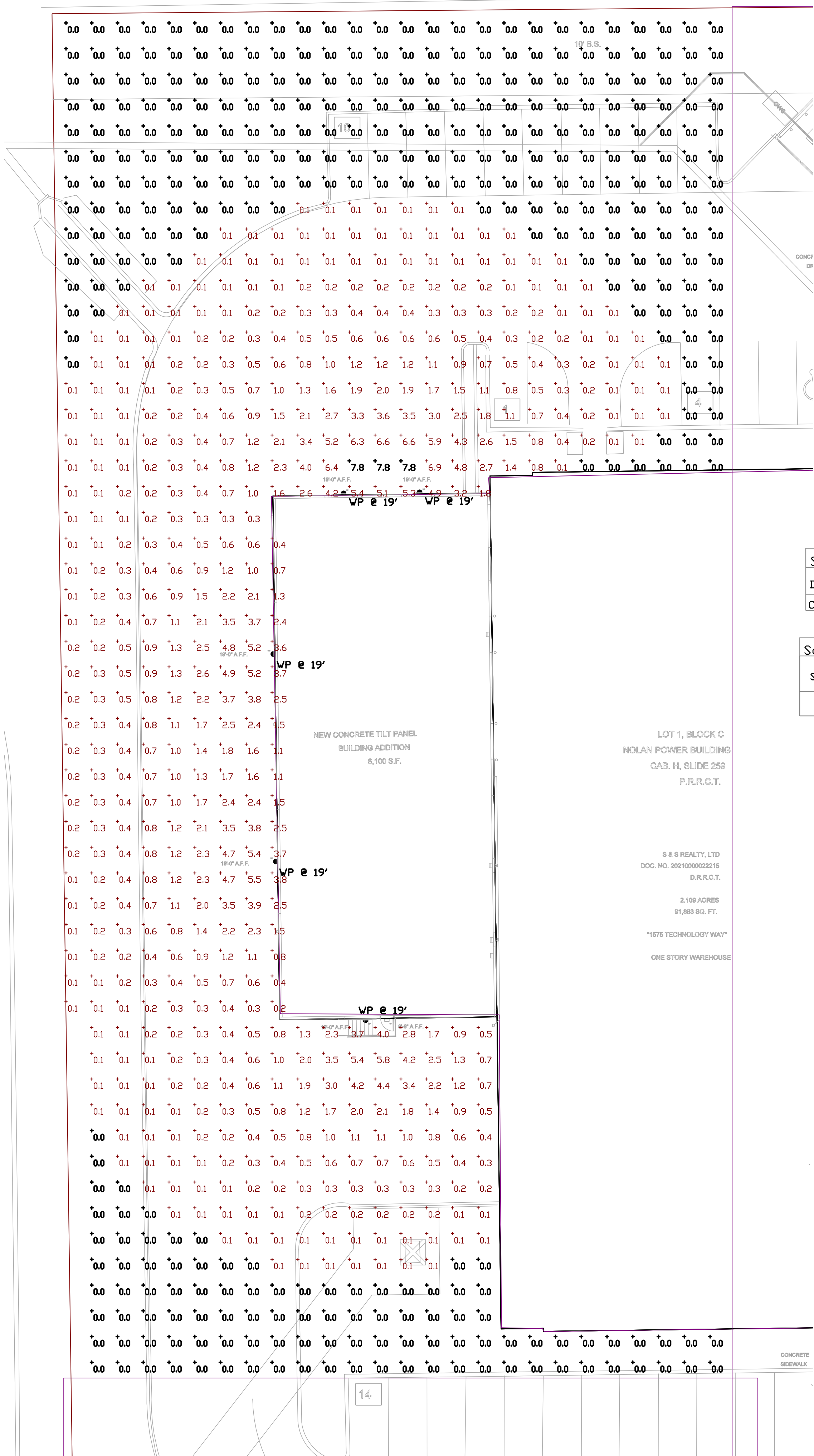
12.10.2025

SHEET NAME:

TREE PRESERVATION PLAN

SHEET NUMBER:

L.1



1 SITE AND DRIVE THRU PHOTOMETRIC PLAN
Scale: 1/16" = 1'-0"

PHOTOMETRIC NOTES

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF 0" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS DO NOT REFLECT THE HEIGHT OF THE FIXTURE ITSELF. FIXTURE LOCATIONS AND DIRECTION ARE FOR DESIGN INTENT PURPOSES, ADJUSTMENTS OR RELOCATIONS MADE IN FIELD MAY CAUSE PHOTOMETRIC VALUES TO ALTER FROM INTENT SHOWN PER THIS PLAN SHEET.

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN INSTRUCTIONS PROVIDED TO THE ENGINEER AT THE TIME OF DESIGN. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE GENERAL CONTRACTOR, AND LANDLORD / TENANT (AS APPLICABLE) PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THE PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE-IN AS THE BASIS OF DESIGN.

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR NEW CONSTRUCTION TO BE PROVIDED ONLY, AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING OUTSIDE OF PLAN SCOPE OF WORK, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.6 fcd	7.8 fcd	0.0 fcd	N/A	N/A

Schedule							
Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	WP	5	WPX1 @ 30W / 4000K	LED	1	4739	32.4

CASE
Engineering Inc.

796 Merus Court
St. Louis, MO 63026
T 636.349.1600
F 636.349.1730
CERTIFICATE OF AUTHORITY NO. F-20080



STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

File Name: 25233-E302
Project No: 25233
Date: 12/08/2025
Drawn By:
Checked By: TI

SHEET
E1.0
PHOTOMETRIC PLAN

WPX1

RAB



Color: Bronze

Weight: 6.2 lbs

Project: Type:

Prepared By: Date:

Driver Info		LED Info	
Type	Constant	Watts	30/20/15W
120V	0.28A/0.22A/0.14A	Color Temp	3000/4000/5000K
208V	0.14A/0.10A/0.07A	Color Accuracy	82-84 CRI
240V	0.13A/0.08A/0.06A	L70 Lifespan	100,000 Hours
277V	0.12A/0.07A/0.05A	Lumens	2,497-4,739 lm
Input Watts	17.7-33.3W	Efficacy	134.6-146.8 lm/W

Technical Specifications

Field Adjustability

Field Adjustable:

Field Adjustable Light Output:
30W/20W/15W (factory default 30W)
Color temperature selectable 3000K, 4000K and 5000K (factory default 4000K)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP65 for dust and water

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements.
DLC Product Code: S-MW1V2F

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz
30W: 120V: 0.28A 208V: 0.14A, 240V: 0.13A, 277V: 0.12A
20W: 120V: 0.22A 208V: 0.10A, 240V: 0.08A, 277V: 0.07A
15W: 120V: 0.14A 208V: 0.07A, 240V: 0.06A, 277V: 0.06A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims separate to 10%.

THD:

30W: 2.82% at 120V, 9.29% at 277V
20W: 3.16% at 120V, 11.85% at 277V
15W: 5.05% at 120V, 20.56% at 277V

Power Factor:

30W: 99.7% at 120V, 93.5% at 277V
20W: 99.6% at 120V, 90.2% at 277V
15W: 98.9% at 120V, 81.6% at 277V

Photocell:

Integrated photocell included with on/off switch

Surge Protection:

4kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

30W: Replaces up to 125W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
20W: Replaces up to 100W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
15W: Replaces up to 70W Metal Halide (MH) or 70W High-Pressure Sodium (HPS)

LED Characteristics

LEDs:

Long life, high efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Housing:

Aluminum alloy

Lens:

Prismatic, heat-resistant borosilicate glass

WPX1

RAB

Technical Specifications (continued)

Reflector:

Aluminum

Gaskets:

High-temperature silicone

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Green Technology:

Mercury and UV free. RoHS compliant components.

Finish:

Formulated for high durability and long-lasting color

Installation

Mounting:

Hinged wiring access and conduit entries on the back sides, top and bottom make installation a snap

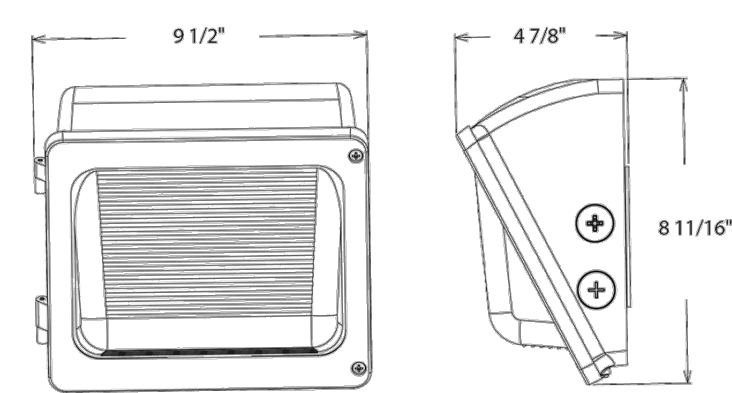
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Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

100,000-Hour LED lifespan
0-10V dimming standard
10-Year, no-compromise warranty

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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Page 2 of 3

WPX1

RAB

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver	Options
WPX	1				
	1 = 30/20/15W 2 = 80/60/40W 3 = 130/100/65W	Blank = 3000/4000/5000K Adjustable	Blank = Bronze W = White	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = Selectable On/Off Photocell /MVS = Microwave Motion Sensor /LCB = Lightcloud Blue /LCB = Lightcloud Blue /LCBS/MVS = Lightcloud Blue w/MVS Sensor /E = Battery Backup ¹ /MVS/E = Microwave Motion Sensor w/Battery Backup ² /LC/E = Lightcloud w/Battery Backup ¹

¹ 480V available only in WPX2 and WPX3 models
² Battery backup available only for WPX2 and WPX3 in 120-277V models

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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Page 3 of 3

LIGHTING FIXTURE NOTES

ENGINEER'S SCOPE OF WORK IS FOR SELECTION AND MODELING OF SITE LIGHTING FOR BUILDING EXPANSION PER SHEET E1.0, AND COMPLIANCE WITH LIGHTING DISTRIBUTION WITH AUTHORITY HAVING JURISDICTION AND OWNER. THIS ENGINEER IS NOT RESPONSIBLE FOR DESIGNING LIGHTING CONTROLS, POWER SYSTEMS, PANEL SCHEDULES, DETAILED SCOPE OF WORK, DETAILS. ENERGY COMPLIANCE FOR NEW LIGHTING HAS NOT BEEN PERFORMED BY ENGINEER DUE TO UNAVAILABLE INFORMATION FOR THE EXISTING SITE AND SITE LIGHTING CONDITIONS. LIGHTING FIXTURE SPECIFICATION SHOWN IS SELECTED BY ENGINEER TO MEET THE MINIMUM REQUIREMENTS OF THE OWNER AND AUTHORITY HAVING JURISDICTION. THE ELECTRICAL CONTRACTOR (E.C.) SHALL NOT PROVIDE BID FOR USE OF LIGHTING FIXTURES SPECIFIED BY ENGINEER, WITHOUT FINAL APPROVAL FROM THE G.C. AND OWNER.

IF THE OWNER AND G.C. APPROVE USE OF THE LIGHTING FIXTURE AS SPECIFIED BY THE ENGINEER, THE OWNER AND G.C. SHALL COORDINATE THE OPTIONS AND SPECIFICATIONS AVAILABLE TO THE LIGHT FIXTURE FOR USE PRIOR TO ORDERING. RESPONSIBILITY OF INSTALLATION AND COORDINATION OF CONTROLS, NEW OR EXISTING, SHALL BE PROVIDED BY OTHERS, INCLUDING ANY DETAILS OR SUBMISSIONS REQUIRED.

ANY PROPOSED FIXTURE SUBSTITUTIONS, ALTERATIONS, RELOCATIONS, HEIGHT CHANGES, ETC. SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL BID. PROPOSED CHANGES SHALL BE EVALUATED AND PROVIDED WITH NEW PHOTOMETRIC DESIGN TO ENSURE COMPLIANCE. ENGINEER SHALL REJECT ANY CHANGES THAT CAUSE COMPLIANCE WITH LOCAL CODES AND ORDINANCES TO NOT BE MET. ANY CHANGES, SUBSTITUTIONS, ALTERATIONS, MODIFICATIONS, ETC. THAT ARE MADE BY THE E.C. WITHOUT ACCEPTANCE OF THE ENGINEER SHALL BE MADE AT THEIR OWN RISK AND RESPONSIBILITY, AND ANY CONDITIONS THAT ARE NOT IN COMPLIANCE WITH LOCAL CODES AND ORDINANCES SHALL BE AT E.C.'S EXPENSE TO CORRECT.

CASE
Engineering Inc.

796 Merus Court
St. Louis, MO 63026
T 636.349.1600
F 636.349.1730
CERTIFICATE OF AUTHORITY NO. F-20080

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FRANZ
architects
7608 Benbrook Parkway
Benbrook, Texas 76126
(817) 737-9922
www.Franzarchitects.com

STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

File Name: 25233-E302
Project No: 25233
Date: 12/06/2025
Drawn By: Tl
Checked By:

SHEET
E1.1
PHOTOMETRIC SPECS

12/06/2025

BOUNDARY LINE TABLE		
LINE #	DISTANCE	BEARING
L1	402.34'	N00°47'55"W
L2	229.25'	N89°30'15"E
L3	380.65'	S00°47'33"E
L4	28.99'	S44°12'27"W
L5	208.70'	S89°12'27"W

FLOOD PLAIN NOTE
ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY OANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE WITHIN ZONE "X". (AREAS DETERMINED TO BE (INSIDE/OUTSIDE) THE (0.2% OR 1%) ANNUAL FLOODPLAIN. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR ITS STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE. ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

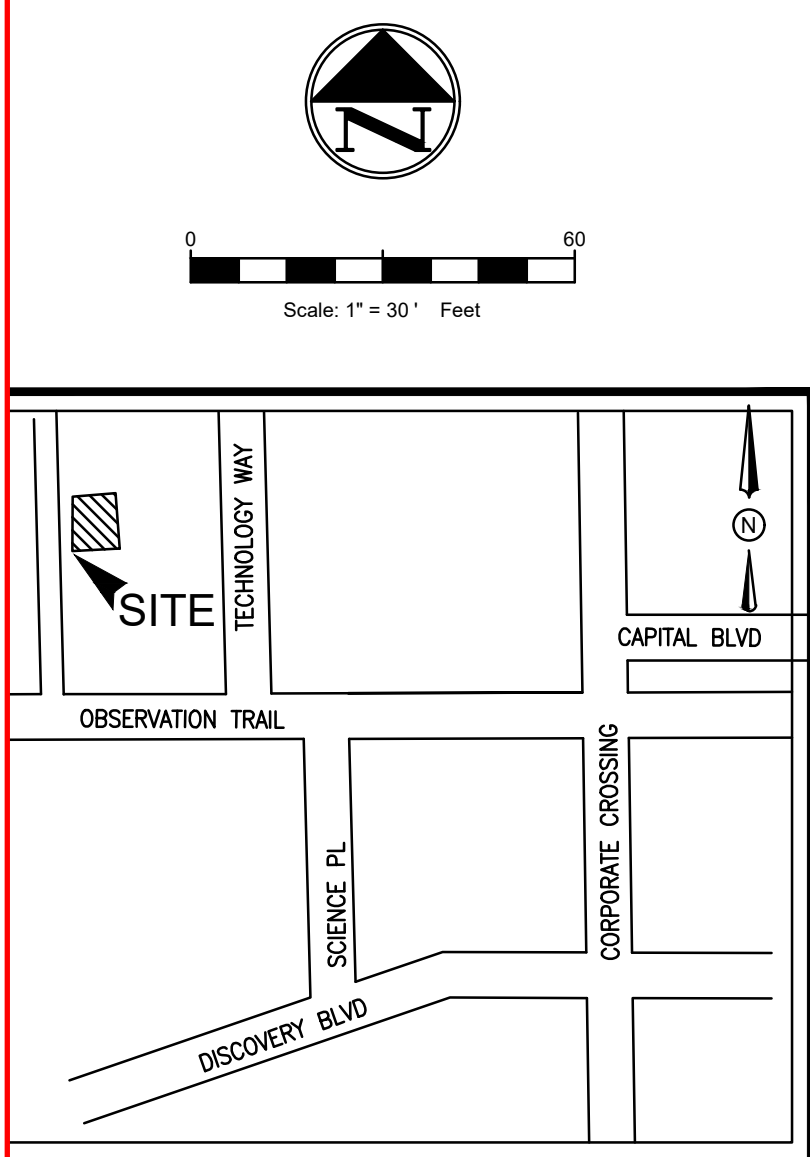
EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

- General Items:**
- Must meet City's 2023 Standards of Design and Construction
 - 4% Engineering Inspection Fees
 - Impact Fees (Roadway) and any water & sewer impact fees if additional or up sizing of the meter is done.
 - No structures, including walls, allowed in easements.
 - All retaining walls 3' and over must be engineered.
 - All retaining walls 18" or taller must be rock, stone, or stone faced. Smooth faced concrete walls are not allowed.
 - No signage is allowed within easements or ROW.
 - No structures or fences is allowed within easements or ROW.
 - Need to show existing and proposed utilities on the Site Plan.
 - Additional comments may be provided at time of Site Plan and Engineering.
- Drainage Items:**
- Existing flow patterns must be maintained.
 - No grate inlets allowed.
 - Dumpster areas shall drain to an oil/water separator and then into the storm system.

- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Any public sewer lines must be a minimum of 8", and must be in a 20' wide easement. (Meet City of Rockwall Standards of Design and Construction)
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - There is an existing 8" sewer main on the other side of Technology Way available for use.
 - Water and sanitary sewer and storm sewer must be 10' apart.
 - All public utilities must be centered within an easement. Min 20' utility easements.
 - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.

- Roadway Paving Items:**
- All driveways must meet City spacing requirements.
 - All parking, storage, and drive aisles must be steel reinforced concrete. No rock, gravel, or asphalt allowed.
 - No rock, gravel, or asphalt allowed in any area.
 - All Parking to be 20'x9' minimum.
 - No dead-end parking allowed without an approved City turnaround, 15'x64' striped no parking area.
 - Drive isles to be 24' wide.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane (if needed) to be in a platted easement.

- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.



VICINITY MAP
N.T.S.

GENERAL NOTES

- CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR JURISDICTION STANDARDS.
- LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE CITY OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES, IF EXISTING UNDERGROUND UTILITIES ARE LOCATED, THE CONTRACTOR WILL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED, THE CONTRACTOR SHALL REPLACE OR REPAIR THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SIDE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS.
6. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN RELEASED, SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
7. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
8. ALL CURB RADIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLAN.
9. AREA UNDER DUMPSTER SHALL DRAIN TO THE PROPOSED OIL SEPARATER.

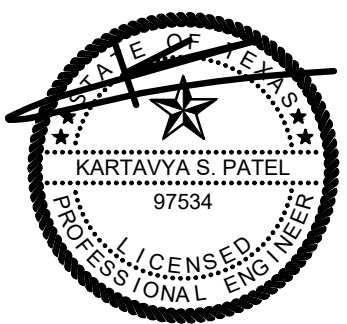
1 SP PER 1000 S.F.	27 SPACES
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

SITE LEGEND	
CONCRETE CURB	=====
SAW-CUT LINE	-----
FENCE	X X
FIRE LANE	=====
STRIPING	=====
PARKING SPACES	X
MONUMENT/PYLON SIGN	=====
WHEEL STOPS	=====
HANDICAP LOGO	=====
HANDICAP SIGN	=====
RAMP	=====
BOLLARD	=====
TRAFFIC ARROW	=====
FIRE HYDRANT	=====
DUMPSTER	=====
SANITARY SEWER MANHOLE	=====
SANITARY SEWER CLEANOUT	=====
SANITARY SEWER DOUBLE CLEANOUT	=====
SANITARY SEWER SAMPLE PORT	=====
GREASE TRAP	=====
DOMESTIC WATER METER	=====
IRRIGATION METER	=====
GAS METER	=====
TRANSFORMER	=====
LIGHT POLE	=====
POWER POLE	=====

"ALL RESPONSIBILITY FOR ADEQUACY OF DESIGN REMAINS WITH THE DESIGN ENGINEER. THE CITY OF ROCKWALL, IN REVIEWING AND RELEASING PLANS FOR CONSTRUCTION, ASSUME NO RESPONSIBILITY FOR ADEQUACY OR ACCURACY OF DESIGN"



NO.	DATE	DESCRIPTION	BY
1	12/12/25	1st CITY SUBMITTAL	PK
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SITE PLAN

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY

CITY OF ROCKWALL

ROCKWALL COUNTY, TEXAS 75032

NOLAN POWER BUILDING LOT 1 BLOCK C

T: 469.331.8566 | F: 469.213.7145 | E: info@triangle-engr.com
W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Planning | Civil Engineering | Construction Management

P.E.	DES.	DATE	SCALE	PROJECT NO.	SHEET NO.
KP	EB	12/12/25	SCALE BAR	162-25	C-3.0

TX. P.E. FIRM #11525

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-9321	ARCHITECT FRANZ AECHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

TABLE 1: PAVEMENT DESIGN THICKNESS

STREET/PAVEMENT TYPE	MINIMUM THICKNESS (INCHES)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
PARKING LOT	6"	3000	#3	18"	CONCRETE (6.5 SACK/C.Y.)
FIRE LANE/DRIVE AISLE	6"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)
DUMPSTER PAD	7"	3500	#3	18"	CONCRETE (6.5 SACK/C.Y.)

NOTE: PER SOIL REPORT RECOMMENDATIONS LIME STABILIZATIONS CAN BE ELIMINATED BY INCREASING PAVEMENT THICKNESS BY 1"

Min 5.5 sack mix

3,600 psi min (6.5 sack mix)



T: 469.331.8566 | F: 469.213.7145 | W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

Date: 12.30.2025

ATTN: City of Rockwall,

RE: Comment Response Letter for Warehouse Addition at Technology Way and Observation Trail

To whomever it may concern,

Please find below our comment responses in red for our 2ND Site Plan Submittal.

PLANNING – Bethany Ross

1. This is a request for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 2.11-acre parcel of land identified as Lot 1, Block C, Nolan Power Building Addition, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, and addressed as 1575 Technology Way.
Acknowledged and correct.
2. For question or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email brross@rockwall.com.
Acknowledged.
3. For reference, include the case number (SP2025-044) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)
Case number added to all sheets.
4. Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A. of Article 11)
Signature block added to all sheets.
5. Please provide a detail of the outside storage area and provide a letter detailing what is to be stored. (Subsection 01.05(E), of Article 05, UDC)
There is currently no plan to utilize outside storage. It is our understanding that outside storage is currently being utilized, but no outside storage is to be utilized post-construction of these improvements.
6. Please crosshatch any areas where there will be outside storage of any kind. Currently there are items stored where the addition will be. Please show where the new storage will be and provide screening.
There is currently no plan to utilize outside storage. It is our understanding that outside storage is currently being utilized, but no outside storage is to be utilized post-construction of these improvements.



T: 469.331.8566 | F: 469.213.7145 | W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

7. Cluster screening in the area just south of the new addition.
Additional landscaping added to the south the new addition.
8. Continue the dock screening throughout the landscape area west of the building.
Landscape screening continued to the south in western landscape area.
9. Plug a canopy tree in on the west side of the parking area.
Tree added.
10. Dash in the RTUs on the building elevations. RTUs will need to be screened from any view of the building.
No RTUs to be installed for building addition. Only ceiling mounted interior heaters.
11. Please provide the material percentages for each façade of the building. (Subsection 04.01, Article 05, UDC)
Material percentages have been added to elevation sheet A2.0 as requested.
12. A minimum of 90% masonry materials is required on all facades. (Subsection 06.01(C)a.1, Article 05, UDC). This will require a variance from the Planning and Zoning Commission.
Intent is to match existing materials and finishes. Please proceed with a variance request.
13. A minimum of 20% natural or quarried stone is required on all building facades. (Subsection 06.01(C)a.1, Article 05, UDC). This will require a variance from the Planning and Zoning Commission.
Intent is to match existing materials and finishes. Please proceed with a variance request.
14. Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections and provide any additional information that is requested. Revisions for this case will be due on January 6, 2026; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 13, 2026 Planning and Zoning Meeting.
Acknowledged.
15. Please note the scheduled meetings for this case: Planning and Zoning Public Hearing meeting will be held on January 13, 2026.
Acknowledged.



T: 469.331.8566 | F: 469.213.7145 | W: triangle-engr.com | O: 1782 W. McDermott Drive, Allen, TX 75013

16. All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer questions the Planning Commission may have regarding this request. Please also note the Architectural Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

Acknowledged. Representatives will be present at both meetings.

Thanks,

A handwritten signature in blue ink, consisting of a stylized 'K' followed by a horizontal line.

Sincerely

(Kartavya (Kevin) Patel, P.E.)



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO.

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING:

CITY ENGINEER:

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 1575 TECHNOLOGY WAY, ROCKWALL TX 75032

SUBDIVISION NOLAN POWER BUILDING

LOT 1

BLOCK C

GENERAL LOCATION NW CORNER OF TECHNOLOGY WAY AND OBSERVATION TRAIL

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING LI - LIGHT INDUSTRIAL

CURRENT USE WAREHOUSE

PROPOSED ZONING LI - LIGHT INDUSTRIAL

PROPOSED USE WAREHOUSE

ACREAGE 2.11

LOTS [CURRENT] 1

LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER SS REALTY, LTD

☒ APPLICANT TRIANGLE ENGINEERING, LLC

CONTACT PERSON ~~WILLIAM B SHAW~~ Spencer Shaw

CONTACT PERSON ELLIOTT BOGART

ADDRESS 6031 CONNECTION DR
SUITE 600

ADDRESS 1782 W MCDERMOTT DR

CITY, STATE & ZIP IRVING, TX 75039

CITY, STATE & ZIP ALLEN, TX 75013

PHONE 214-630-7800

PHONE 469-331-8566 EXT. 122

E-MAIL sshaw@ssdhvac.com

E-MAIL elliot@triangle-engr.com

NOTARY VERIFICATION [REQUIRED]

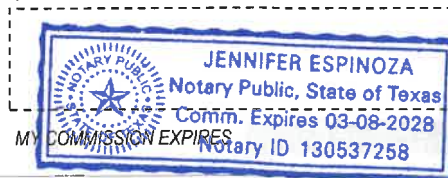
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Spencer Shaw [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

"I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 310.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 12th DAY OF December, 2025 BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION."

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 12th DAY OF December, 2025

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS



0 25 50 100 150 200 Feet

SP2025-044: Amended Site Plan for an Expansion
of an Existing Warehouse/ Manufacturing Facility
at 1575 Technology Way



Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.












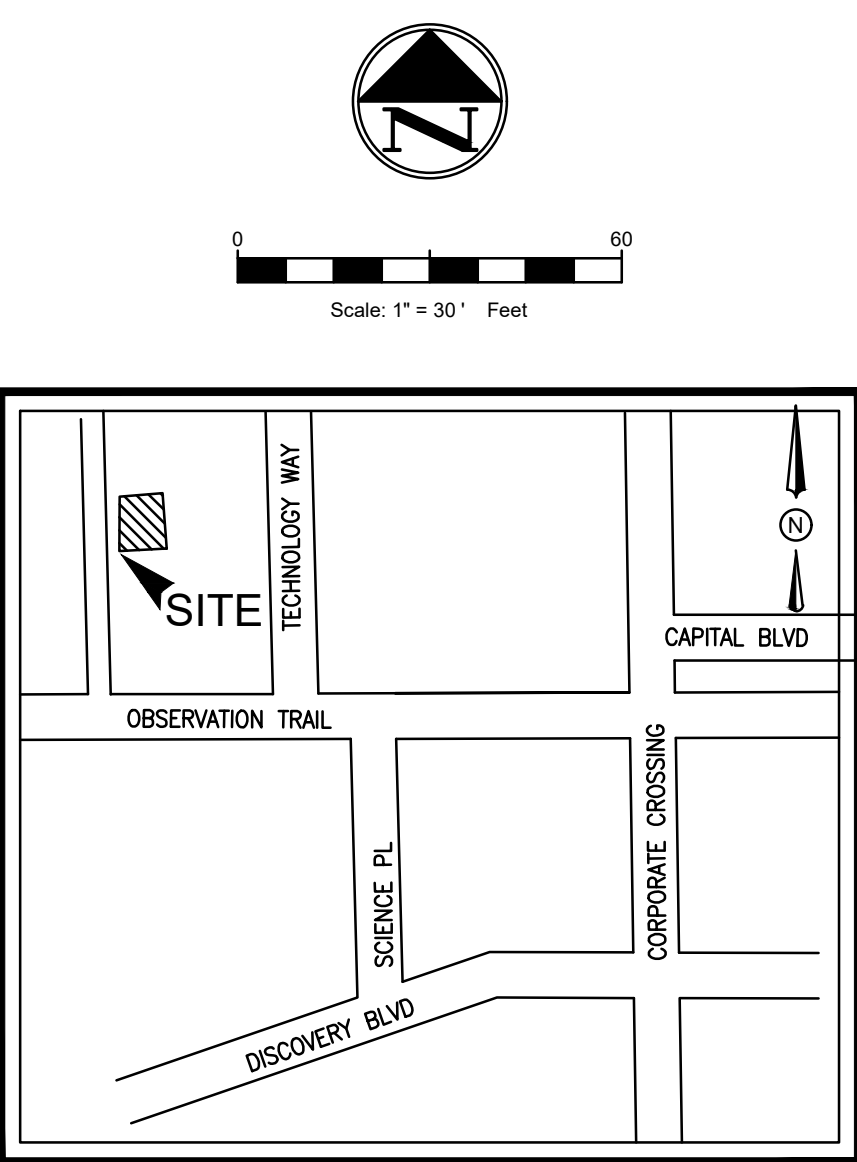
FLOOD PLAIN NOTE

ACCORDING TO THE FLOOD INSURANCE RATE MAP, COMMUNITY OANEL NO. 48397C0045L, DATED SEPTEMBER 26, 2008 BY GRAPHIC PLOTTING ONLY, THIS PROPERTY APPEARS TO BE WITHIN ZONE "X". (AREAS DETERMINED TO BE (INSIDE/OUTSIDE) THE (0.2% OR 1%) ANNUAL FLOODPLAIN. THIS STATEMENT DOES NOT IMPLY THAT THE PROPERTY AND/OR ITS STRUCTURES THEREON WILL BE FREE FROM FLOODING OR FLOOD DAMAGE, ON RARE OCCASIONS, GREATER FLOODS CAN AND WILL OCCUR AND FLOOD HEIGHTS MAY BE INCREASED BY MAN-MADE CAUSES. THIS STATEMENT SHALL NOT CREATE LIABILITY ON THE PART OF THE SURVEYOR.

EASEMENT/SETBACK LEGEND	
BUILDING SETBACK	B.S.
LANDSCAPE SETBACK	L.S.
FIRE LANE, ACCESS & UTILITY EASEMENT	F.A.U.E.
FIRE LANE, ACCESS & DRAINAGE EASEMENT	F.A.D.E.
ACCESS EASEMENT	A.E.
SIDEWALK EASEMENT	S.E.
SANITARY SEWER EASEMENT	S.S.E.
WATER EASEMENT	W.E.
ELECTRICAL EASEMENT	E.E.
UTILITY EASEMENT	U.E.
DRAINAGE & DETENTION EASEMENT	D.D.E.

EXISTING LEGEND

● 1/2" IR FOUND	⏏ IRRIGATION VALVE	 NO PARKING
● 1/2" IR SET	⏏ WATER VALVE	 CONCRETE
● 5/8" IR FOUND	⏏ FIRE HYDRANT	 GRAVEL
● 3/8" IR FOUND	⏏ UTILITY POLE	 BRICK
● 60-D NAIL FOUND	⏏ WATER METER	 STONE
● PK NAIL SET	⏏ GAS METER	 WOOD DECK
● 12" IP FOUND	⏏ A.C. PAD	 BUILDING WALL
● X-FOUND	⏏ TRANS. BOX	 TILE
● X-SET	⏏ GAS MARKER	— BUILDING LINE
● 1" IR FOUND	— OHE — OVERHEAD UTILITY LINE	- - - EASEMENT
● 1" IP FOUND	— X — GUY WIRE ANCHOR	- - - BOUNDARY
● POINT FOR CORNER	— X — BARBED WIRE FENCE	- - - HIGH-BANK LINE
■ CON. MONUMENT	— □ — IRON FENCE	- - - PARKING STRIP
■ 3/4" IP FOUND	— □ — CHAINLINK FENCE	
⊗ TELE. BOX	— // — WOOD FENCE	 HANDICAP SPACE
⊗ CABLE BOX	— // — PIPE RAIL FENCE	
⊗ ELECTRIC BOX	— > < — COVERED AREA	
□ BRICK COLUMNS	— // — ASPHALT	
□ STONE COLUMN	— // — FIRE LANE STRIPE	
④ STORM DRAIN MH.	— // — BRICK RET. WALL	
⊗ SAN. SEW. CO.	— // — STONE RET. WALL	
⊗ BOLLARD POST	— // — CON. RET. WALL	
⊗ LIGHT POLE		
⊗ SAN. SEW. MH.		



SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS/LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED	
1 SP PER 1000 S.F.	27 SPACES
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

SITE GENERAL NOTES

1. ALL CONSTRUCTION SHALL BE IN STRICT ACCORDANCE WITH THE CITY OR LOCAL JURISDICTION STANDARDS.
2. THE LOCATION OF UNDERGROUND UTILITIES INDICATED ON THE PLANS IS TAKEN FROM AS-BUILTS, UTILITY PLANS OR SURVEY. IT IS THE CONTRACTOR'S RESPONSIBILITY TO MAKE ARRANGEMENTS WITH THE OWNERS OF SUCH UNDERGROUND UTILITIES PRIOR TO WORKING IN THE AREA TO CONFIRM THEIR EXACT LOCATION AND TO DETERMINE WHETHER ANY ADDITIONAL UTILITIES OTHER THAN THOSE SHOWN ON THE PLANS MAY BE PRESENT. THE CONTRACTOR SHALL PRESERVE AND PROTECT ALL UNDERGROUND UTILITIES. IF EXISTING UNDERGROUND UTILITIES ARE DAMAGED, THE CONTRACTOR SHALL BE RESPONSIBLE FOR THE COST OF REPAIRING THE UTILITY.
3. WHERE EXISTING UTILITIES OR SERVICE LINES ARE CUT, BROKEN OR DAMAGED BY THE CONTRACTOR SHALL REPAIR OR REPLACE THE UTILITIES OR SERVICE LINES WITH THE SAME TYPE OF ORIGINAL MATERIAL AND CONSTRUCTION, OR BETTER, UNLESS OTHERWISE SHOWN OR NOTED ON THE PLANS, AT HIS OWN COST AND EXPENSE. THE CONTRACTOR SHALL IMMEDIATELY NOTIFY THE ENGINEER AT ONCE OF ANY CONFLICTS WITH UTILITIES.
4. ALL EXCAVATIONS, TRENCHING AND SHORING OPERATIONS SHALL COMPLY WITH THE REQUIREMENTS OF THE U. S. DEPARTMENT OF LABOR, OSHA, CONSTRUCTION SAFETY AND HEALTH REGULATIONS AND ANY AMENDMENTS THERETO.
5. THE CONTRACTOR SHALL RESTORE ALL AREAS DISTURBED BY CONSTRUCTION TO ORIGINAL CONDITION OR BETTER. RESTORED AREAS INCLUDE, BUT ARE NOT LIMITED TO TRENCH BACKFILL, SLOPE SLOPES, FENCES, DRAINAGE DITCHES, DRIVEWAYS, PRIVATE YARDS AND ROADWAYS. ANY CHANGES NEEDED AFTER CONSTRUCTION PLANS HAVE BEEN SUBMITTED SHALL BE APPROVED BY THE CITY ENGINEER. THESE CHANGES MUST BE RECEIVED IN WRITING.
7. THE CONTRACTOR SHALL PROVIDE "RED LINED" MARKED PRINTS TO THE ENGINEER PRIOR TO FINAL INSPECTION INDICATING ALL CONSTRUCTION WHICH DEVIATED FROM THE PLANS OR WAS CONSTRUCTED IN ADDITION TO THAT INDICATED ON THE PLANS.
8. ALL CURB RADIIUS TO BE 10' OR 2' UNLESS OTHERWISE NOTED ON THE SITE PLANS.
9. EXISTING DRAINAGE FLOW PATTERN IS TO BE MAINTAINED.
10. DUMPSTER AREAS SHALL DRAIN TO AN OILWATER SEPARATOR AND THEN INTO STORM SYSTEM.
11. NO ROCK, GRAVEL, OR ASPHALT ALLOWED IN ANY AREA OF CONSTRUCTION

SITE LEGEND





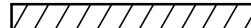








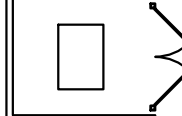












CONCRETE CURB	
SAW-CUT LINE	
FENCE	
FIRE LANE	
STRIPING	
PARKING SPACES	
MONUMENT/PYLON SIGN	
WHEEL STOPS	
HANDICAP LOGO	
HANDICAP SIGN	
RAMP	
BOLLARD	
TRAFFIC ARROW	
FIRE HYDRANT	
DUMPSTER	
SANITARY SEWER MANHOLE	
SANITARY SEWER CLEANOUT	
SANITARY SEWER DOUBLE CLEANOUT	
SANITARY SEWER SAMPLE PORT	
GREASE TRAP	
DOMESTIC WATER METER	
IRRIGATION METER	
GAS METER	
TRANSFORMER	
LIGHT POLE	
POWER POLE	
AC PAD	

TABLE 1: PAVEMENT DESIGN THICKNESS					
STREET/PAVEMENT TYPE	MINIMUM THICKNESS (INCHES)	STRENGTH 28 DAY (PSI)	STEEL REINFORCEMENT		PAVING MATERIAL
			BAR#	SPACING (OCEW)	
PARKING LOT	6"	3000	#3	18"	CONCRETE (5.5 SACK/C.Y.)
FIRE LANE/DRIVE AISLE	6"	3600	#3	18"	CONCRETE (6.5 SACK/C.Y.)
DUMPSHED PAD	7"	3600	#3	18"	CONCRETE (6.5 SACK/C.Y.)

NOTE: PER SOIL REPORT RECOMMENDATIONS LIME STABILIZATIONS CAN BE ELIMINATED BY INCREASING PAVEMENT THICKNESS BY 1"

PROJECT CONTACT LIST	
<p><u>ENGINEER</u></p> <p>TRIANGLE ENGINEERING LLC 1782 W. McDermott Drive ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-8566</p>	<p><u>OWNER/DEVELOPER</u></p> <p>SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800</p>
<p><u>SURVEYOR</u></p> <p>TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-9321</p>	<p><u>ARCHITECT</u></p> <p>FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107</p>

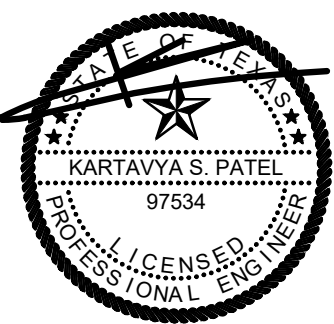
APPROVED:
I HEARBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

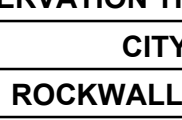

WITNESS OUR HANDS, THIS ____ OF _____, _____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING
& ZONING



NO.	DATE	DESCRIPTION	BY
1	12/12/25	1st CITY SUBMITTAL	PK
2	12/23/25	2nd CITY SUBMITTAL	PK
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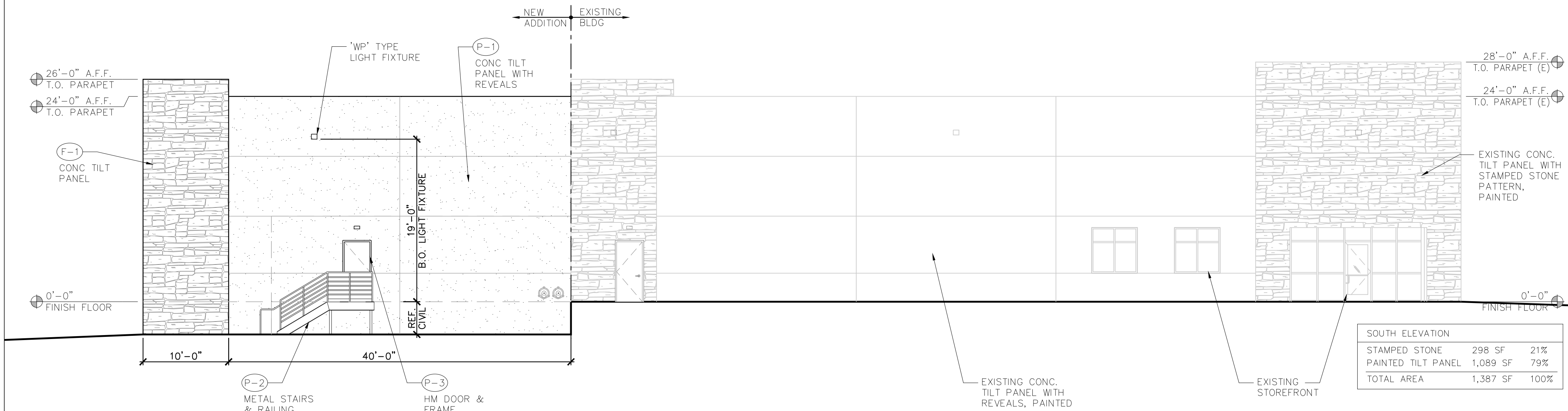
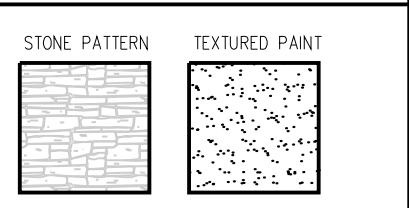


<h1 style="margin: 0;">SITE PLAN</h1>			
<h2 style="margin: 0;">WAREHOUSE ADDITION</h2>			
<h3 style="margin: 0;">OBSERVATION TRAIL AND TRANSPORTATION WAY</h3>			
<h3 style="margin: 0;">CITY OF ROCKWALL</h3>			
<h3 style="margin: 0;">ROCKWALL COUNTY, TEXAS 75032</h3>			
<h3 style="margin: 0;">NOLAN POWER BUILDING LOT 1 BLOCK C</h3>			
			
<p>T: 469.331.8566 F: 469.213.7145 E: info@triangle-engr.com W: triangle-engr.com O: 1782 W. McDermott Drive, Allen, TX 75013</p>			
<p>Planning Civil Engineering Construction Management</p>			
P.E.	DES.	DATE	SCALE
KP	EB	12/12/25	<div style="text-align: center;">  SEE SCALE BAR </div>
PROJECT NO.			SHEET NO.
162-25			C-3.0
TX. P.E. FIRM #11525			

EXTERIOR FINISH SCHEDULE

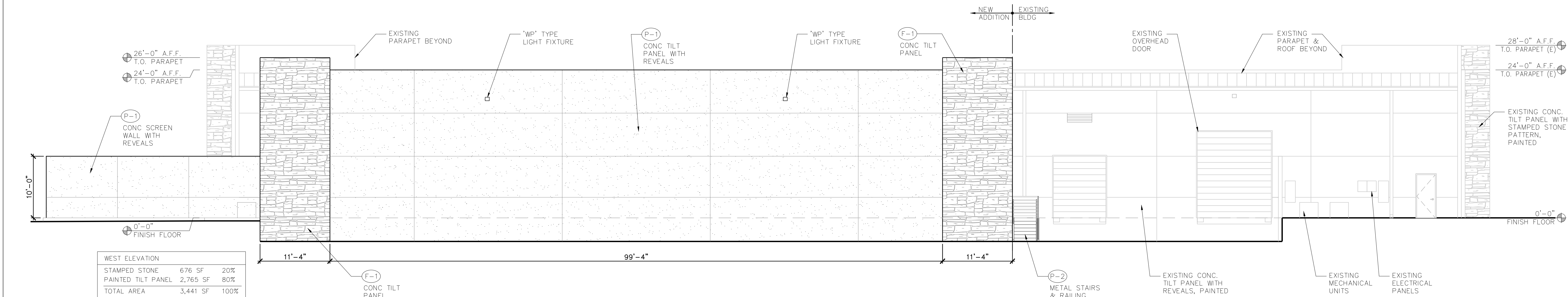
ITEM	COLOR	MANUFACTURER	REMARKS
F-1	STAMPED STONE PATTERN	SW 7010 WHITE DUCK	SHERWIN WILLIAMS
P-1	PAINT FINISH - FIELD COLOR	SW 6071 POPULAR GRAY	SHERWIN WILLIAMS
P-2	PAINT FINISH - STAIR & RAILING	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS
P-3	PAINT FINISH - HM DOOR & FRAME	SW 6074 SPALDING GRAY	SHERWIN WILLIAMS
	OVER HEAD DOOR & FRAME	MATCH EXISTING	BEST SOURCE
**G.C. SHALL SUBMIT SAMPLES FOR ARCHITECT'S APPROVAL			

FINISH LEGEND



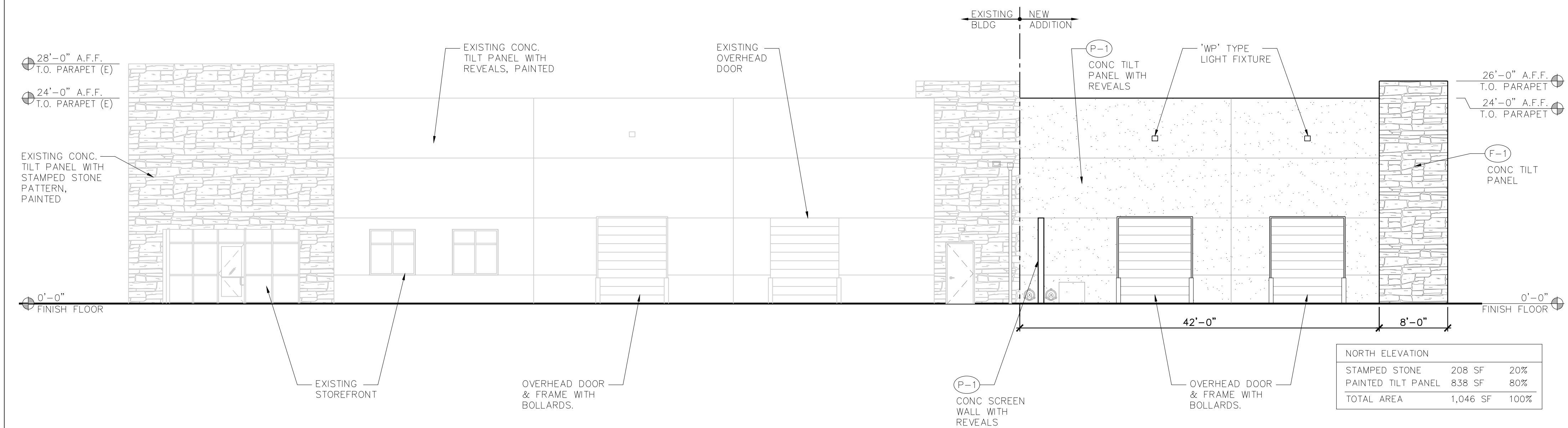
1 SOUTH ELEVATION

SCALE: 1/8" = 1'-0"



2 WEST ELEVATION

SCALE: 1/8" = 1'-0"



3 NORTH ELEVATION

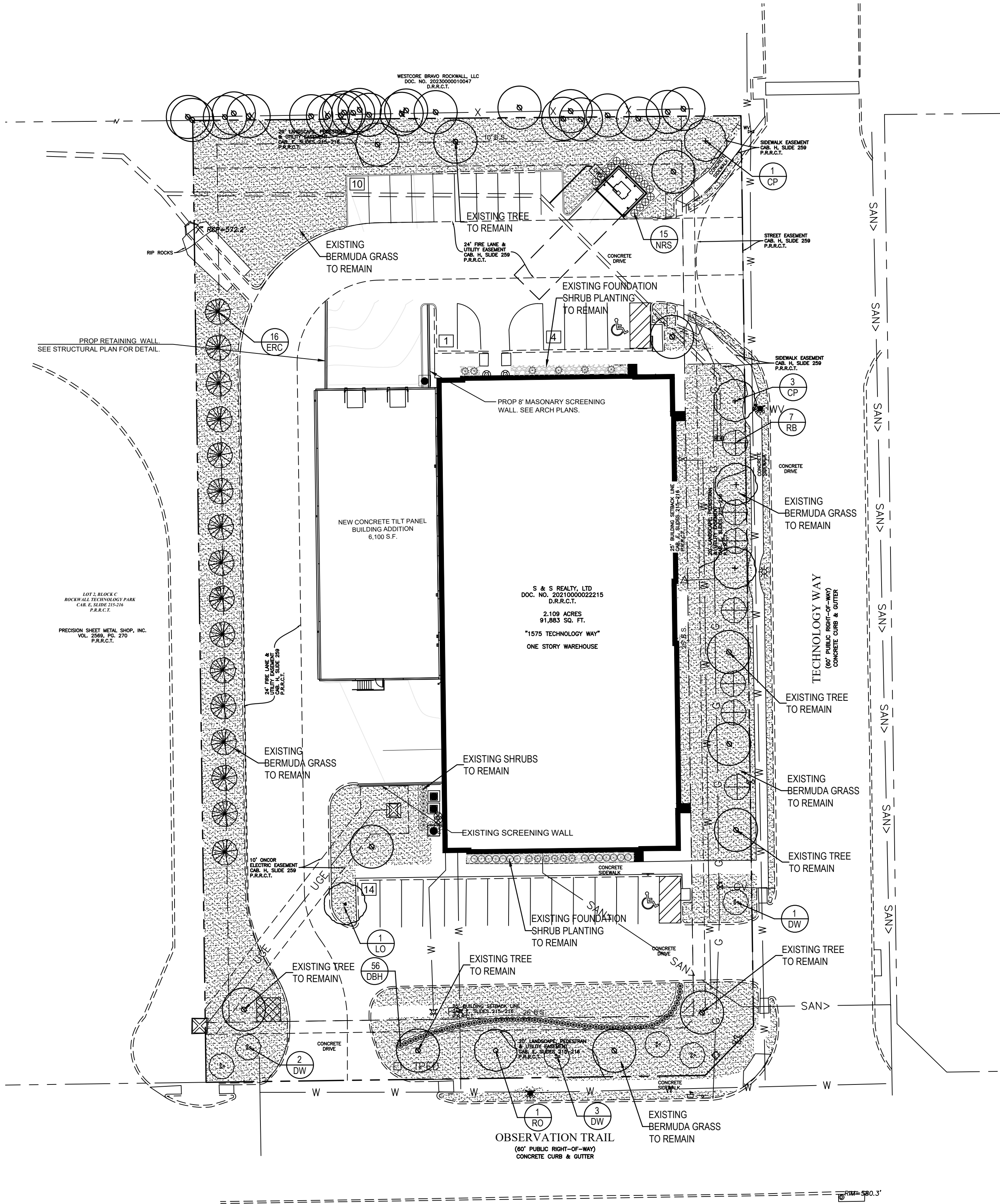
SCALE: 1/8" = 1'-0"

CASE NUMBER: SP2025-044

APPROVED:
I HERBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT
IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING
COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____.

WITNESS OUR HANDS, THIS ____ OF ____.

PLANNING & ZONING COMMISSION, CHAIRMAN
DIRECTOR OF PLANNING & ZONING



01 LANDSCAPE PLAN

SCALE 1"=30'-0"



EXISTING PLANT LEGEND:

- EXISTING TREE
- EXISTING RED YUCCA
- EXISTING DWARF YAUPOH HOLLY
- EXISTING BERMUDA GRASS

PROPOSED PLANT LEGEND:

- CHINESE PISTACHE - 4" CALIPER
- RED OAK - 4" CALIPER
- DESERT WILLOW - 6' HEIGHT
- EASTERN RED CEDAR - 6' HEIGHT
- REDBUD - 6' HEIGHT
- DWARF BURFORD HOLLY - 5 GALLON
- NELLIE R. STEVENS HOLLY - 7 GALLON

LANDSCAPE TABULATIONS:

SITE REQUIREMENTS (Total Site Area 91,878.41 S.F.)
Requirements: A minimum 15% of the site area to be landscaped.

FRONT YARD REQUIREMENTS
Requirements: A minimum 50% of required landscape must be located in front yard.

STREET REQUIREMENTS
Requirements: A minimum (1) canopy tree (4" cal) and (1) accent tree (4" ht.) per 50 L.F. of frontage.

OBSERVATION TRAIL (224 L.F.)

Required (5) Canopy trees
Provided (4) Existing Canopy Trees & (1) Proposed Canopy Tree
(5) Accent trees
(5) Proposed Accent Trees

TECHNOLOGY WAY (395 L.F.)

Required (8) Canopy Trees
Provided (4) Existing Canopy Trees & (4) Proposed Canopy Trees
(8) Accent Trees
(8) Proposed Accent Trees

PARKING LOT REQUIREMENTS (29 Spaces)
Requirements: A minimum (1) canopy tree (4" cal.) per 20 parking spaces.

ALL LANDSCAPE AREAS WILL BE IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM THAT MEETS THE REQUIREMENTS OF THE TCEQ AND THE CITY OF ROCKWALL UGS

PLANT MATERIAL SCHEDULE

TREES					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
CP	4	Chinese Pistache	<i>Pistacia chinensis</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
RO	1	Red Oak	<i>Quercus shumardii</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
LO	1	Live Oak	<i>Quercus virginiana</i>	4" cal.	container, 12" ht., 5' spread, 6' clear straight trunk
DW	6	Desert Willow	<i>Chilopsis linearis</i>	6' ht.	container, 6' ht., 4' spread, 3 or 5 canes, tree form
ERC	16	Eastern Red Cedar	<i>Juniperus virginiana</i>	6' ht.	container, 6' ht., 4' spread, full to base
RB	7	Redbud	<i>Cercis canadensis</i>	6' ht.	container, 6' ht., 4' spread, single straight trunk

SHRUBS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
DBH	56	Dwarf Burford Holly	<i>Ilex cornuta</i>	5 gal.	container, 24" ht., 20" spread
NRS	15	Nellie R. Stevens	<i>Ilex x 'Nellie R. Stevens'</i>	7 gal.	container, 36" ht., 30" spread

GROUNDCOVERS					
TYPE	QTY	COMMON NAME	BOTANICAL NAME	SIZE	REMARKS
		'419' Bermudagrass	<i>Cynodon dactylon</i> '419'		solid sod refer to notes

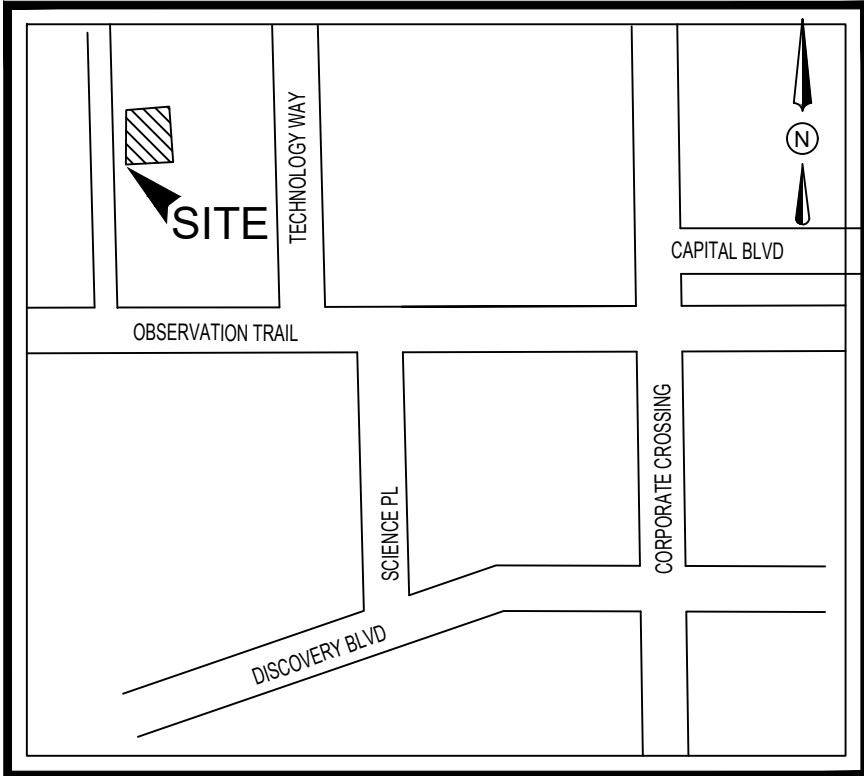
NOTE: Plant list is an aid to bidders only. Contractor shall verify all quantities on plan. All heights and spreads are minimums. All plant material shall meet or exceed remarks as indicated. All trees to have straight trunks and be matching within varieties.

SITE DATA SUMMARY TABLE

SITE ACREAGE:	2.11 ACRES (91,878.41 S.F.)
ZONING:	LIGHT INDUSTRIAL (LI)
PROPOSED USE:	WAREHOUSE ADDITION
BUILDING AREA:	26,100 S.F.
NUMBER OF STORIES:	1
BUILDING HEIGHT:	28'
BUILDING COVERAGE:	28.41%
FLOOR AREA RATIO:	0.28
IMPERVIOUS AREA:	62,295.74 S.F. (67.80%)
PERVIOUS LANDSCAPE AREA:	29,582.67 S.F. (32.20%)
TOTAL PARKING REQUIRED	27 SPACES
1 SP PER 1000 S.F.	
REGULAR PARKING PROVIDED:	27 SPACES
HANDICAP PARKING REQUIRED:	2 SPACES (1 VAN ACCESSIBLE)
HANDICAP PARKING PROVIDED:	2 SPACES (1 VAN ACCESSIBLE)
TOTAL PARKING PROVIDED:	29 SPACES

PROJECT CONTACT LIST

ENGINEER	OWNER/DEVELOPER
TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA PATEL, P.E. PHONE: 469-331-5566	SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR	ARCHITECT
TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-764-8321	FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107



VICINITY MAP

N.T.S.

LANDSCAPE NOTES

- CONTRACTOR SHALL VERIFY ALL EXISTING AND PROPOSED SITE ELEMENTS AND NOTIFY ARCHITECT OF ANY DISCREPANCIES. SURVEY DATA OF EXISTING CONDITIONS WAS SUPPLIED BY OTHERS.
- CONTRACTOR SHALL LOCATE ALL EXISTING UNDERGROUND UTILITIES AND NOTIFY ARCHITECT OF ANY CONFLICTS. CONTRACTOR SHALL EXERCISE CAUTION WHEN WORKING IN THE VICINITY OF UNDERGROUND UTILITIES.
- CONTRACTOR IS RESPONSIBLE FOR OBTAINING ALL REQUIRED LANDSCAPE AND IRRIGATION PERMITS.
- CONTRACTOR TO PROVIDE A MINIMUM 2% SLOPE AWAY FROM ALL STRUCTURES.
- ALL PLANTING BEDS AND LAWN AREAS TO BE SEPARATED BY STEEL EDGING. NO STEEL TO BE INSTALLED ADJACENT TO SIDEWALKS OR CURBS.
- ALL LANDSCAPE AREAS TO BE 100% IRRIGATED WITH AN UNDERGROUND AUTOMATIC IRRIGATION SYSTEM AND SHALL INCLUDE RAIN AND FREEZE SENSORS.
- ALL LAWN AREAS TO BE SOLID SOD BERMUDAGRASS, UNLESS OTHERWISE NOTED ON THE DRAWINGS.

GENERAL LAWN NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED ON CIVIL PLANS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- IMPORTED TOPSOIL SHALL BE NATURAL, FRIABLE SOIL FROM THE REGION, KNOWN AS BOTTOM AND SOIL FREE FROM LUMPS, CLAY, TOXIC SUBSTANCES, ROOTS, DEBRIS, VEGETATION, STONES, CONTAINING NO SALT AND BLACK TO BROWN IN COLOR.
- ALL LAWN AREAS TO BE FINE GRADED, IRRIGATION TRENCHES COMPLETELY SETTLED, AND FINISH GRADE APPROVED BY THE OWNER'S CONSTRUCTION MANAGER OR ARCHITECT PRIOR TO INSTALLATION.
- ALL ROCKS 3/4" DIAMETER AND LARGER, DIRT CLOUDS, STICKS, CONCRETE SPOILS, ETC. SHALL BE REMOVED PRIOR TO PLACING TOPSOIL AND ANY LAWN INSTALLATION
- CONTRACTOR SHALL PROVIDE (1") ONE INCH OF IMPORTED TOPSOIL ON ALL AREAS TO RECEIVE LAWN.

SOLID SOD NOTES

- FINE GRADE AREAS TO ACHIEVE FINAL CONTOURS INDICATED. LEAVE AREAS TO RECEIVE TOPSOIL 3" BELOW FINAL DESIRED GRADE IN PLANTING AREAS AND 1" BELOW FINAL GRADE IN TURF AREAS.
- ADJUST CONTOURS TO ACHIEVE POSITIVE DRAINAGE AWAY FROM BUILDINGS. PROVIDE UNIFORM ROUNDING AT TOP AND BOTTOM OF SLOPES AND OTHER BREAKS IN GRADE. CORRECT IRREGULARITIES AND AREAS WHERE WATER MAY STAND.
- ALL LAWN AREAS TO RECEIVE SOLID SOD SHALL BE LEFT IN A MAXIMUM OF 1" BELOW FINAL FINISH GRADE. CONTRACTOR TO COORDINATE OPERATIONS WITH ON-SITE CONSTRUCTION MANAGER.
- CONTRACTOR TO COORDINATE WITH ON-SITE CONSTRUCTION MANAGER FOR AVAILABILITY OF EXISTING TOPSOIL.
- PLANT SOD BY HAND TO COVER INDICATED AREA COMPLETELY. INSURE EDGES OF SOD ARE TOUCHING. TOP DRESS JOINTS BY HAND WITH TOPSOIL TO FILL VOIDS.
- ROLL GRASS AREAS TO ACHIEVE A SMOOTH, EVEN SURFACE, FREE FROM UNNATURAL UNDULATIONS.
- WATER SOD THOROUGHLY AS SOD OPERATION PROGRESSES.
- CONTRACTOR SHALL MAINTAIN ALL LAWN AREAS UNTIL FINAL ACCEPTANCE. THIS SHALL INCLUDE, BUT NOT LIMITED TO: MOWING, WATERING, WEEDING, CULTIVATING, CLEANING AND REPLACING DEAD OR BARE AREAS TO KEEP PLANTS IN A VIGOROUS, HEALTHY CONDITION.
- CONTRACTOR SHALL GUARANTEE ESTABLISHMENT OF AN ACCEPTABLE TURF AREA AND SHALL PROVIDE REPLACEMENT FROM LOCAL SUPPLY IF NECESSARY.
- IF INSTALLATION OCCURS BETWEEN SEPTEMBER 1 AND MARCH 1, ALL SOD AREAS TO BE OVER-SEEDED WITH WINTER RYEGRASS, AT A RATE OF (4) POUNDS PER ONE THOUSAND (1000) SQUARE FEET.

APPROVED: I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the _____ day of _____.

WITNESS OUR HANDS, THIS _____ day of _____, _____

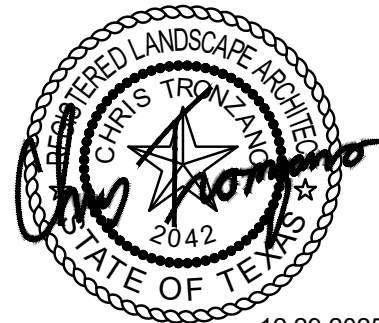
Planning & Zoning Commission, Chairman

Director of Planning and Zoning



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448

CHRIS@STUDIOGREENSPOT.COM



12.29.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

CITY COMMENTS: 12.29.2025

DATE:

12.29.2025

SHEET NAME:

LANDSCAPE PLAN

SHEET NUMBER:

L.2

SECTION 02900 - LANDSCAPE

PART 1 - GENERAL

1.1 REFERENCED DOCUMENTS

Refer to bidding requirements, special provisions, and schedules for additional requirements.

1.2 DESCRIPTION OF WORK

Work included: Furnish all supervision, labor, materials, services, equipment and appliances required to complete the work covered in conjunction with the landscaping covered in these specifications and landscaping plans, including:

- Planting (trees, shrubs, and grass)
- Bed preparation and fertilization
- Notification of sources
- Water and Maintenance until final acceptance
- Guarantee

1.3 REFERENCE STANDARDS

- American Standard for Nursery Stock published by American Association of Nurserymen: 27 October 1990, Edition; by American National Standards Institute, Inc. (Z60.1) – plant material.
- American Joint Committee on Horticultural Nomenclature: 1942 Edition of Standardized Plant Names.
- Texas Association of Nurserymen, Grades and Standards.
- Horis Third, 1976 - Cornell University

1.4 NOTIFICATION OF SOURCES AND SUBMITTALS

- The Contractor shall, within ten (10) days following acceptance of bid, notify the Architect/Owner of the sources of plant materials and bed preparation required for the project.
- Samples: Provide representative quantities of sandy loam soil, mulch, bed mix material, gravel, and crushed stone. Samples shall be approved by Architect before use on project.
- Product Data: Submit complete product data and specifications on all other specified materials.
- Submit three representative samples of each variety of ornamental trees, shrubs, and groundcover plants for Architect's approval. When approved, tag, install, and maintain as representative samples for final installed plant materials.
- File Certificates of Inspection of plant material by state, county, and federal authorities with Architect, if required.
- Soil Analysis: Provide sandy loam soil analysis if requested by the Architect.

PART 3 - EXECUTION

3.1 BED PREPARATION & FERTILIZATION

- Landscape Contractor to inspect all existing conditions and report any deficiencies to the Owner.
- All planting areas shall be conditioned as follows:
 - Prepare new planting beds by scraping away existing grass and weeds as necessary. Till existing soil to a depth of six (6") inches prior to placing compost and fertilizer. Apply fertilizer as per manufacturer's recommendations. Add six (6") inches of compost and till into a depth of six (6") inches of the topsoil. Apply organic fertilizer such as Sustane or Green Sense at the rate of twenty (20) pounds per one thousand (1,000) square feet.
 - All planting areas shall receive a two (2") inch layer of specified mulch.
 - Backfill for tree pits shall be as follows: Use existing top soil on site (use imported topsoil as needed) free from large clumps, rocks, debris, caliche, subsoils, etc., placed in nine (9") inch layers and watered in thoroughly.
- Grass Areas:
 - Areas to be Solid Sod Bermudagrass: Blocks of sod should be laid joint to joint, (staggered joints) after fertilizing the ground first. Roll grass areas to achieve a smooth, even surface. The joints between the blocks of sod should be filled with topsoil where they are evidently gaped open, then watered thoroughly.
 - Areas to be Hydromulch Common Bermudagrass: Hydromulch with bermudagrass seed at a rate of two (2) pounds per one thousand (1,000) square feet. Use a 4' x 8' batter board against the bed areas.

3.2 INSTALLATION

- Maintenance of plant materials shall begin immediately after each plant is delivered to the site and shall continue until all construction has been satisfactorily accomplished.
- Plant materials shall be delivered to the site only after the beds are prepared and area ready for planting. All shipments of nursery materials shall be thoroughly protected from the drying winds during transit. All plants which cannot be planted at once, after delivery to the site, shall be well protected against the possibility of drying by wind and sun. Balls of earth of B & B plants shall be kept covered with soil or other acceptable material. All plants remain the property of the Contractor until final acceptance.
- Position the trees and shrubs in their intended location as per plan.
- Notify the Landscape Architect for inspection and approval of all positioning of plant materials.
- Excavate pits with vertical sides and horizontal bottom. Tree pits shall be large enough to permit handling and planting without injury to balls of earth or roots and shall be of such depth that, when planted and settled, the crown of the plant shall bear the same relationship to the finish grade as it did to soil surface in original place of growth.

3.3 CLEANUP AND ACCEPTANCE

- Cleanup: During the work, the premises shall be kept neat and orderly at all times. Storage areas for all materials shall be so organized that they, too, are neat and orderly. All trash and debris shall be removed from the site as work progresses. Keep paved areas clean by sweeping or hosing at end of each days work.

JOB CONDITIONS

- General Contractor to complete the following punch list: Prior to Landscape Contractor initiating any portion of landscape installation, General Contractor shall leave planting bed areas three (3") inches below finish grade of sidewalks, drives and curbs as shown on the drawings. All lawn areas to receive solid sod shall be left one (1") inch below the finish grade of sidewalks, drives, and curbs. All construction debris shall be removed prior to Landscape Contractor beginning any work.
- General Contractor shall provide topsoil as described in Section 02200 - Earthwork.
- Storage of materials and equipment at the job site will be at the risk of the Landscape Contractor. The Owner cannot be held responsible for theft or damage.

1.6 MAINTENANCE AND GUARANTEE

- Maintenance:
 - The Landscape Contractor will be held responsible for the maintenance of all work from the time of planting until final acceptance by the Owner. No trees, shrubs, groundcover or grass will be accepted unless they show a healthy growth and satisfactory foliage conditions.
 - Maintenance shall include watering of trees and plants, cultivation, weeding spraying, edging, pruning of trees, mowing of grass, cleaning up and all other work necessary of maintenance.
 - A written notice requesting final inspection and acceptance should be submitted to the Owner at least seven (7) days prior to completion. An on-site inspection by Owner and Landscape Contractor will be completed prior to written acceptance.
 - After final acceptance of installation, the Landscape Contractor will not be required to do any of the above listed work.
- Guarantee:
 - Trees shall be guaranteed for a twelve (12) month period after acceptance. Shrubs and groundcover shall be guaranteed for twelve (12) months. The Contractor shall replace all dead materials as soon as weather permits and upon notification of the Owner. Plants, including trees, which have partially died so that shape, size, or symmetry has been damaged, shall be considered subject to replacement. In such cases, the opinion of the Owner shall be final.
 - Plants used for replacement shall be of the same size and kind as those originally planted and shall be planted as originally specified. All work, including materials, labor and equipment used in replacements, shall carry a twelve (12) month guarantee. Any damage, including ruts in lawn or bed areas, incurred as a result of making replacements shall be immediately repaired.
 - At the direction of the Owner, plants may be replaced at the start of the next year's planting season. In such cases, dead plants shall be removed from the premises immediately.
 - When plant replacements are made, plants, soil mix, fertilizer and mulch are to be utilized as originally specified and re-inspected for full compliance with Contract requirements. All replacements are to be included under "Work" of this section.

- The Owner agrees that for the guarantee to be effective, he will water plants at least twice a week during dry periods and cultivate beds once a month after final acceptance.
- The above guarantee shall not apply where plants die after acceptance because of injury from storms, hail, freeze, insects, diseases, injury by humans, machines or theft.
- Acceptance for all landscape work shall be given after final inspection by the Owner provided the job is in a completed, undamaged condition, and there is a stand of grass in all lawn areas. At this time, the Owner will assume maintenance on the accepted work.
- Repairs: Any necessary repairs under the Guarantee must be made within ten (10) days after receiving notice, weather permitting, and in the event the Landscape Contractor does not make repairs accordingly, the Owner, without further notice to Contractor, may provide materials and men to make such repairs at the expense of the Landscape Contractor.

1.7 QUALITY ASSURANCE

- General: Comply with applicable Federal, State, County and Local regulations governing landscape materials and work.
- Personnel: Employ only experienced personnel who are familiar with the required work. Provide full time supervision by a qualified foreman acceptable to Landscape Architect.
- Selection of Plant Material:

- Make contact with suppliers immediately upon obtaining notice of contract acceptance to select and book materials. Develop a program of maintenance (pruning and fertilization) which will insure the purchased materials will meet and/or exceed project specifications.
- Landscape Architect will provide a key identifying each tree location on site. Written verification will be required to document material selection, source and delivery schedules to site.
- Owner and/or Architect shall inspect all plant materials when reasonable at place of growth for compliance with requirements for genus, species, cultivar/variety, size and quality.
- Owner and/or Architect retains the right to further inspect all plant material upon arrival at the site and during installation for size and condition of root balls, limbs, branching habit, insects, injuries, and latent defects.
- Owner and/or Architect may reject unsatisfactory or defective material at any time during the process of work. Remove rejected materials from the site immediately. Plants damaged in transit or at job site shall be rejected.

1.8 PRODUCT DELIVERY, STORAGE AND HANDLING

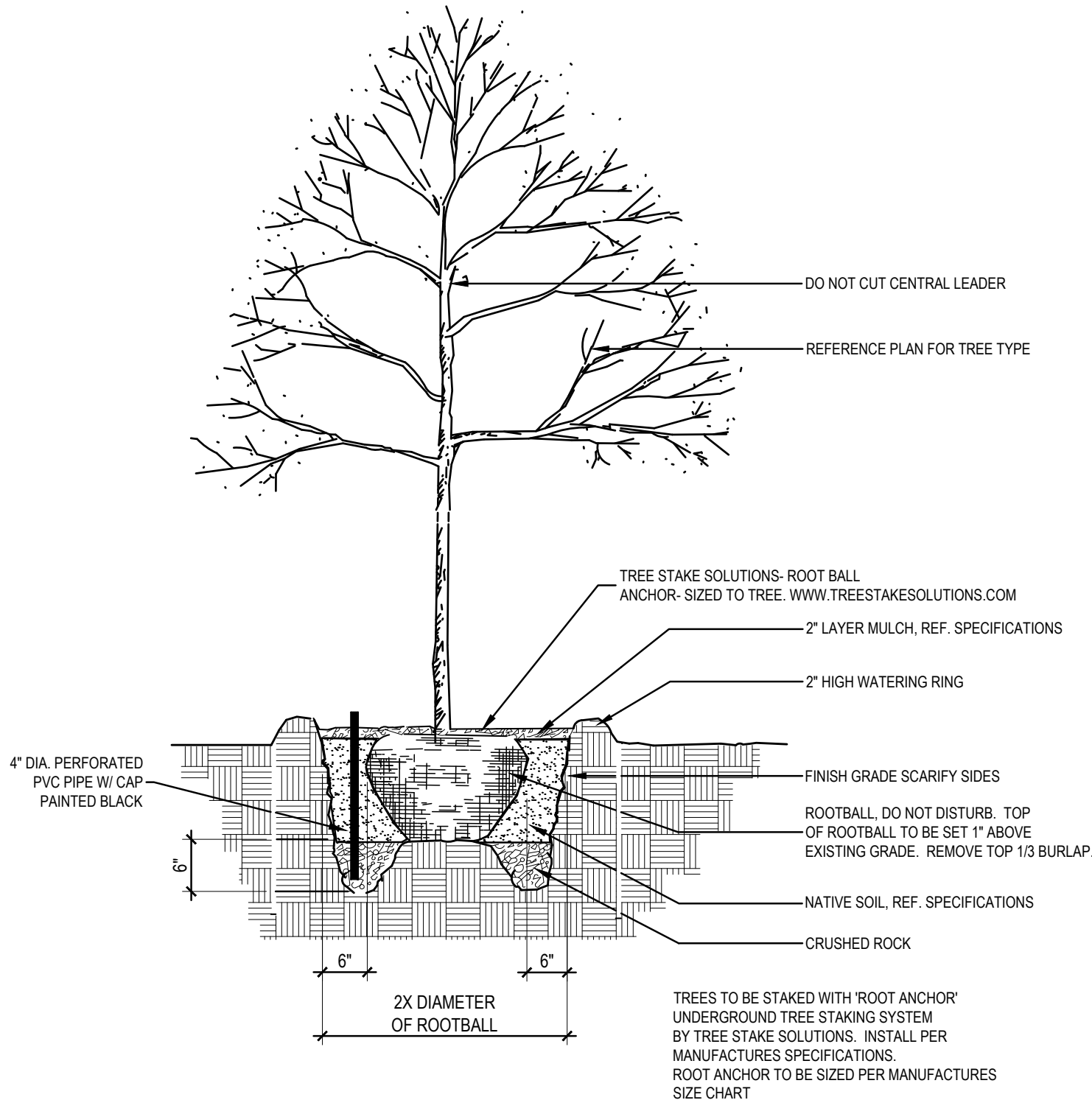
- Preparation:
 - Balled and Burlapped (B&B) Plants: Dig and prepare shipment in a manner that will not damage roots, branches, shape, and future development.
 - Container Grown Plants: Deliver plants in rigid container to hold ball shape and protect root mass.

2.2 SOIL PREPARATION MATERIALS

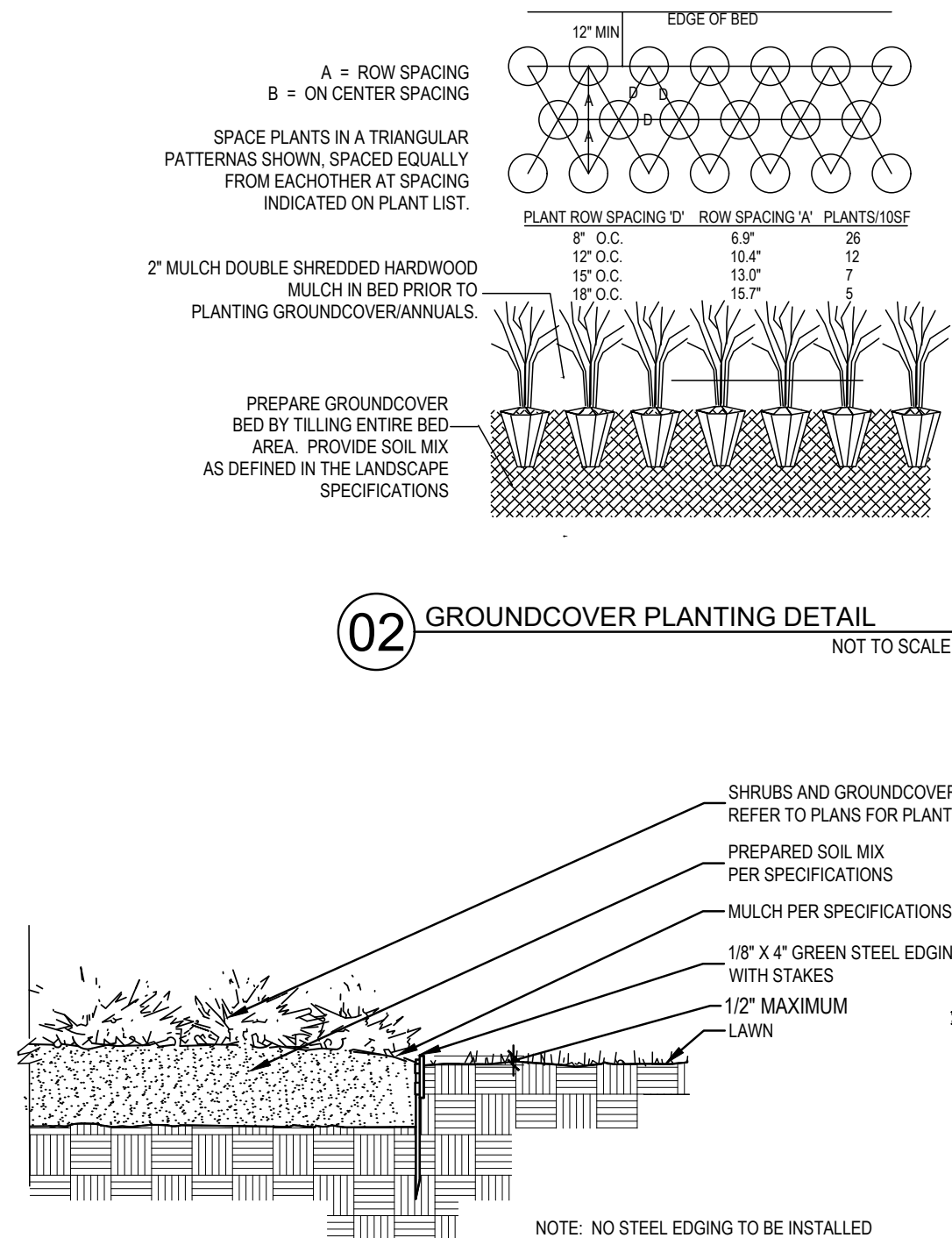
- Sandy Loam:
 - Friable, fertile, dark, loamy soil, free of clay lumps, subsoil, stones and other extraneous material and reasonably free of weeds and foreign grasses. Loam containing Dallasgrass or Nutsgrass shall be rejected.
 - Physical properties as follows:
 - Clay – between 7-27 percent
 - Silt – between 15-25 percent
 - Sand – less than 52 percent
 - Organic matter shall be 3%-10% of total dry weight.
 - If requested, provide a certified soil analysis conducted by an approved soil testing laboratory verifying that sandy loam meets the above requirements.
- Organic Material: Compost with a mixture of 80% vegetative matter and 20% animal waste. Ingredients should be a mix of course and fine textured material.
- Premixed Bedding Soil as supplied by Vital Earth Resources, Gladewater, Texas; Professional Bedding Soil as supplied by Living Earth Technology, Dallas, Texas or Acid Gro Municipal Mix as supplied by Soil Building Systems, Dallas, Texas or approved equal.
- Sharp Sand: Sharp sand must be free of seeds, soil particles and weeds.
- Mulch: Double Shredded Hardwood Mulch, partially decomposed, dark brown. Living Earth Technologies or approved equal.
- Organic Fertilizer: Fertilaid, Sustane, or Green Sense or equal as recommended for required applications. Fertilizer shall be delivered to the site in original unopened containers, each bearing the manufacturer's guaranteed statement of analysis.
- Commercial Fertilizer: 10-20-10 or similar analysis. Nitrogen source to be a minimum 50% slow release organic Nitrogen (SCU or UF) with a minimum 8% sulphur and 4% iron, plus micronutrients.
- Peat: Commercial sphagnum peat moss or partially decomposed shredded pine bark or other approved organic material.

2.3 MISCELLANEOUS MATERIALS

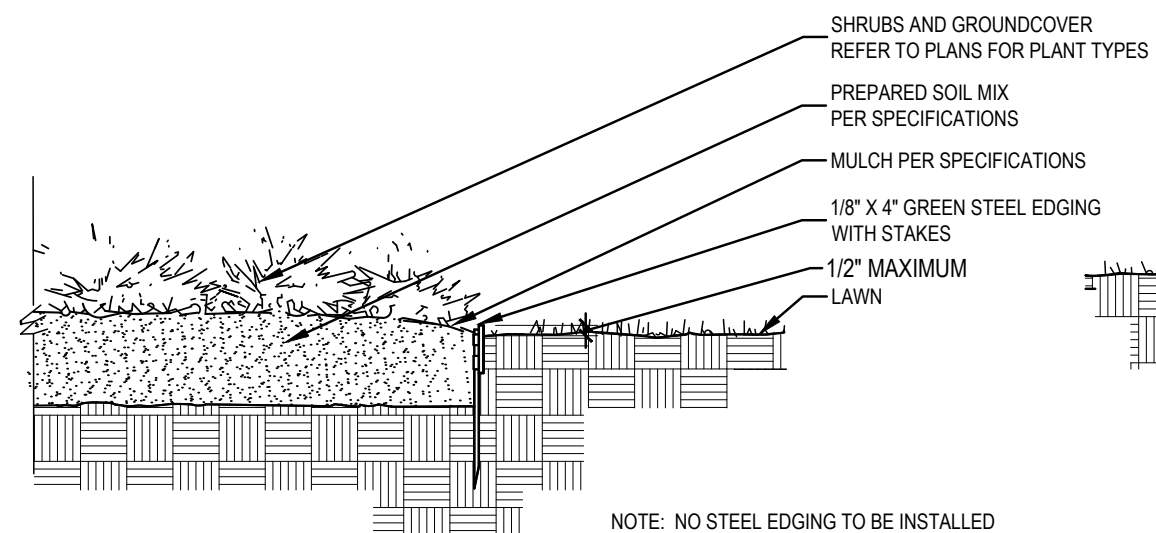
- Steel Edging: Shall be Ryerson "Estate Curbing", 1/8" x 4" with stakes 4" on center.
- Staking Material for Shade Trees:
 - Post: Studded T-Post, #1 Armo with anchor plate, 6'-0" length; paint green.
 - Wire: 12 gauge, single strand, galvanized wire.
 - Rubber hose: 2 ply, fiber reinforced hose, minimum 1/2 inch inside diameter. Color: Black.
- Gravel: Washed native pea gravel, graded 1 in. to 1-1/2 in.
- Filter Fabric: Mirafi 140N by Celanese Fibers Marketing Company, available at Loftland Co., (214) 631-5250 or approved equal.



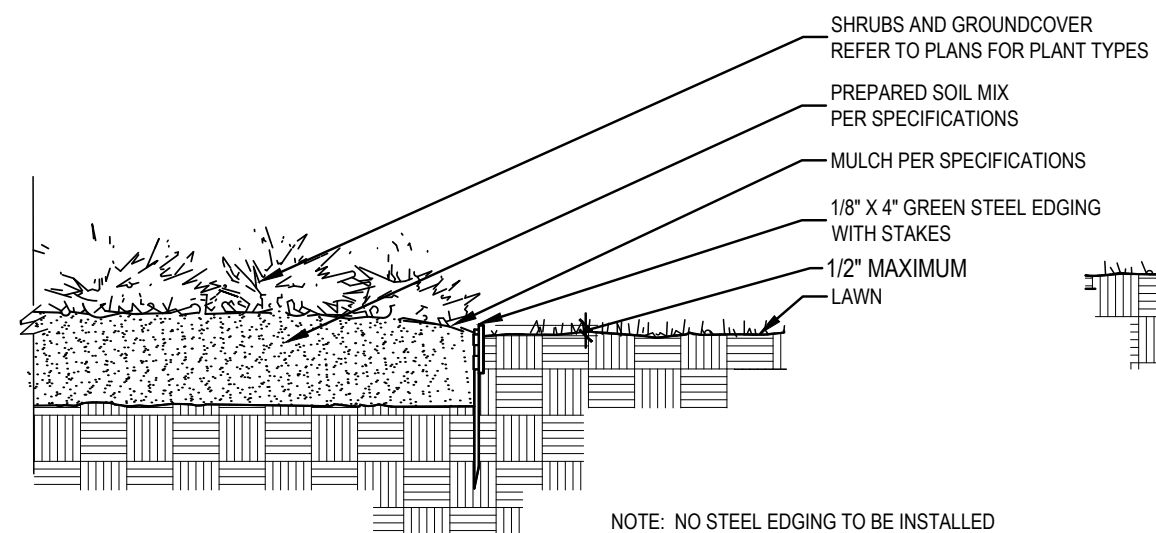
01 TREE PLANTING DETAIL NOT TO SCALE



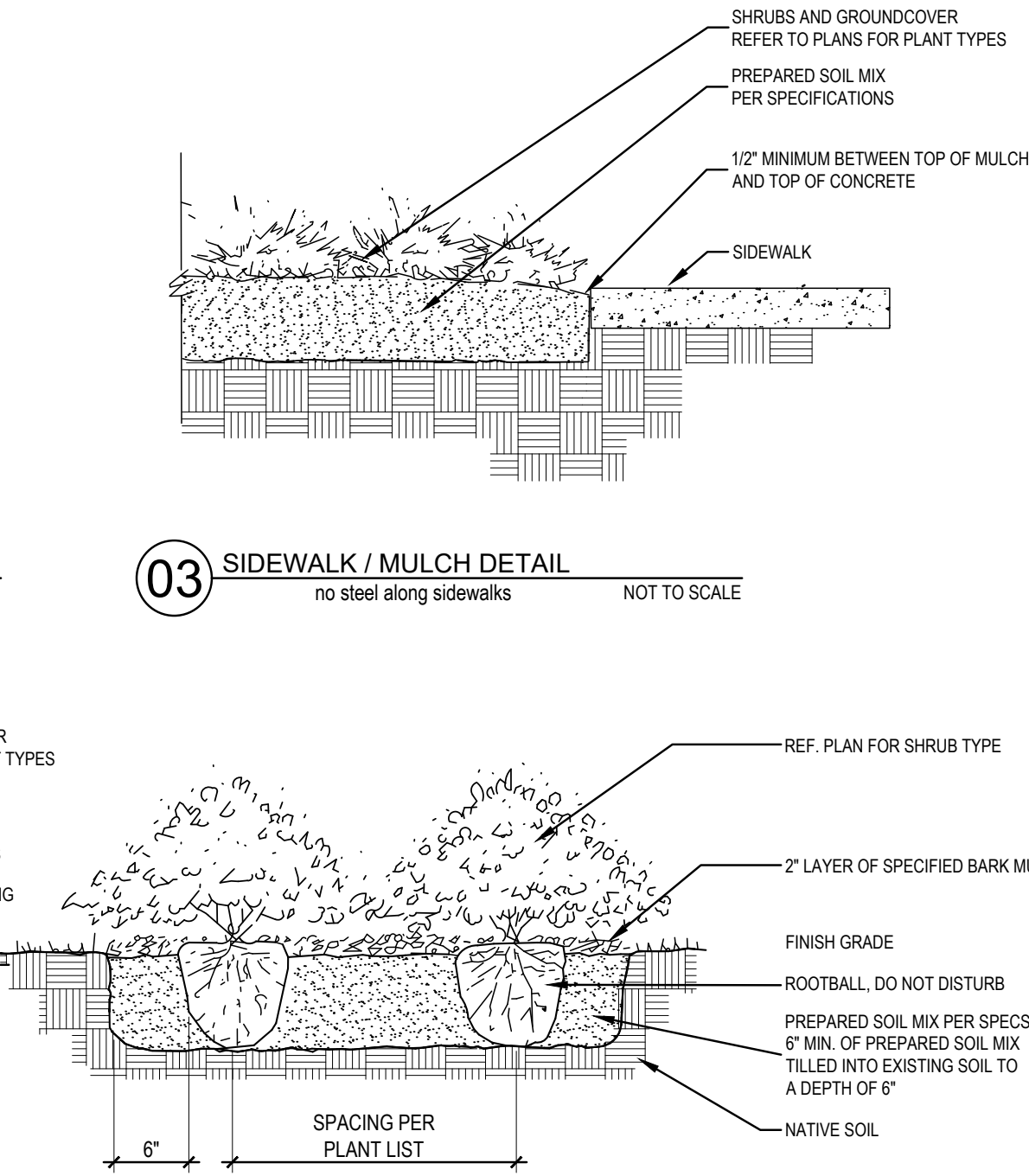
02 GROUNDCOVER PLANTING DETAIL NOT TO SCALE



03 SIDEWALK / MULCH DETAIL NOT TO SCALE



04 STEEL EDGING DETAIL NOT TO SCALE



05 SHRUB PLANTING DETAIL NOT TO SCALE

PROJECT CONTACT LIST	
ENGINEER TRIANGLE ENGINEERING LLC 1782 W. McDERMOTT DRIVE ALLEN, TEXAS 75013 CONTACT: KARTAVYA B PATEL, P.E. PHONE: 469-331-5568	OWNER/DEVELOPER SS REALTY, LTD 6031 CONNECTION DRIVE, SUITE 600 IRVING, TX 75039 CONTACT: MR. WILLIAM B SHAW PHONE: 214-630-7800
SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-8321	ARCHITECT FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, THIS ____ day of ____, ____.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

CASE NO. SP2025-044



LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.10.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C

ISSUE:

FOR APPROVAL: 12.10.2025

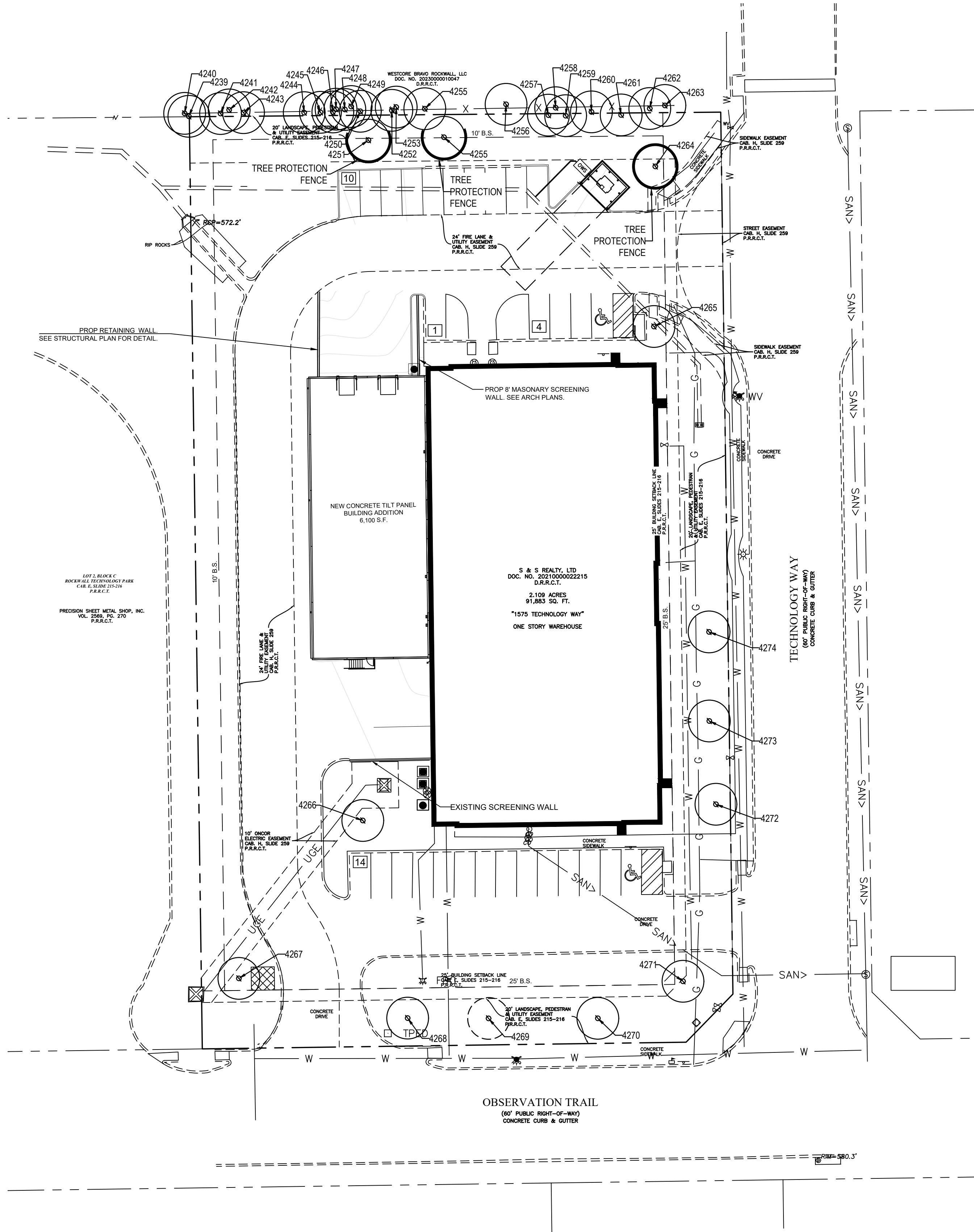
DATE:

12.10.2025

SHEET NAME:
LANDSCAPE SPECIFICATIONS

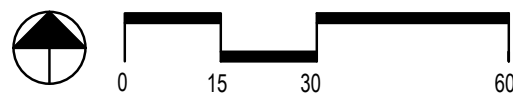
SHEET NUMBER:

L.3



01 TREE PRESERVATION PLAN

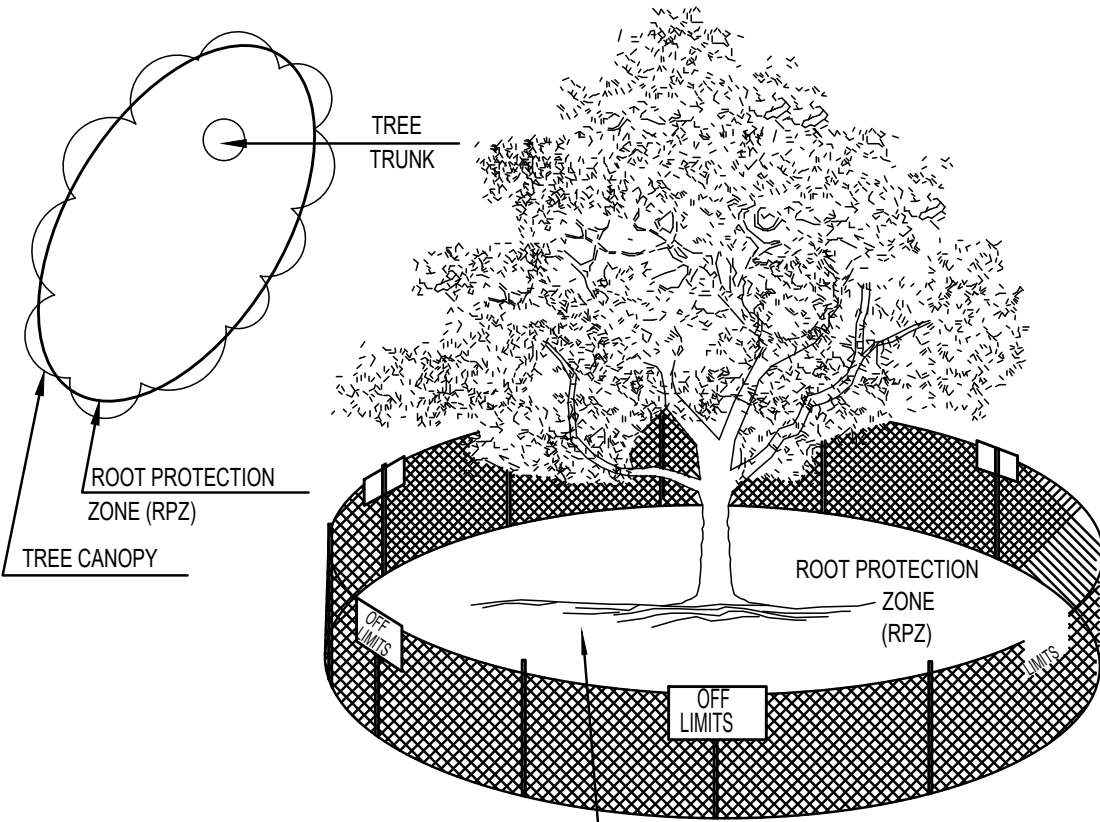
SCALE 1"=30'-0"



TREE SURVEY FIELD DATA

NO.	SIZE (DBH)	SPECIES (COMMON NAME)	PROTECTED/ UNPROTECTED	REMARKS	MITIGATION REQUIRED
4239	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4240	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4241	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4242	16"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4243	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4244	14"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4245	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4246	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4247	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4248	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4249	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4250	12"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4251	25"	BODARK	NON-PROTECTED	TO REMAIN	0"
4252	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4253	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4254	8"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4255	10"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4256	8"	HERCULES	PROTECTED	TO REMAIN	0"
4257	36"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4258	6"	EASTERN RED CEDAR	PROTECTED	TO REMAIN	0"
4259	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4260	18"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4261	6"	HACKBERRY	NON-PROTECTED	TO REMAIN	0"
4262	6"	HERCULES	PROTECTED	TO REMAIN	0"
4263	8"	EASTERN RED CEDAR	NON-PROTECTED	TO REMAIN	0"
4264	12"	OAK	PROTECTED	TO REMAIN	0"
4265	8"	ASH	PROTECTED	TO REMAIN	0"
4266	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4267	10"	LIVE OAK	PROTECTED	TO REMAIN	0"
4268	10"	OAK	PROTECTED	TO REMAIN	0"
4269	10"	OAK	DAMAGED	TO BE REMOVED	0"
4270	10"	OAK	PROTECTED	TO REMAIN	0"
4271	10"	OAK	PROTECTED	TO REMAIN	0"
4272	10"	OAK	PROTECTED	TO REMAIN	0"
4273	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"
4274	10"	CHINESE PISTACHE	PROTECTED	TO REMAIN	0"

NO PROTECTED TREES TO BE REMOVED
NO MITIGATION REQUIRED



NOTE:
FENCING SHOWN ABOVE IS DIAGRAMMATIC
ONLY AND WILL CONFORM TO THE DRIP LINE
AND LIMITED TO PROJECT BOUNDARY

01 TREE PROTECTION FENCE A

NOT TO SCALE

01

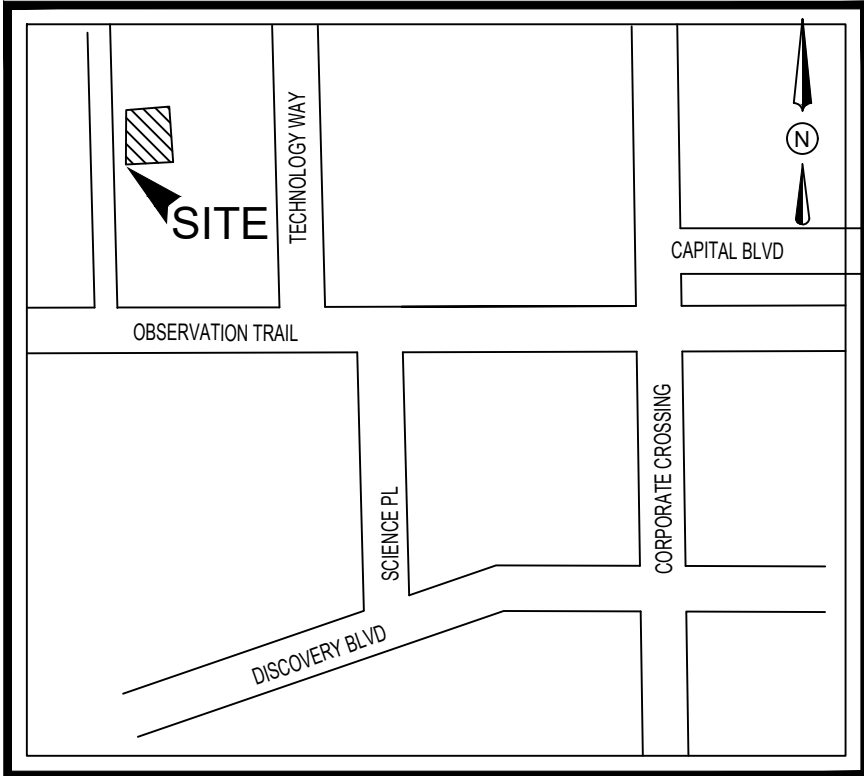
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SURVEYOR TRAVERSE LAND SURVEYING 14200 MIDWAY ROAD, SUITE 130 DALLAS, TEXAS 75244 CONTACT: DAVID MCCULLAH PHONE: 469-784-8321	ARCHITECT FRANZ ARCHITECTS 7608 BENBROOK PARKWAY BENBROOK, TEXAS 76126 JASON BEANE PHONE: 817-851-6107

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, ____.

WITNESS OUR HANDS, THIS ____ day of ____, ____.

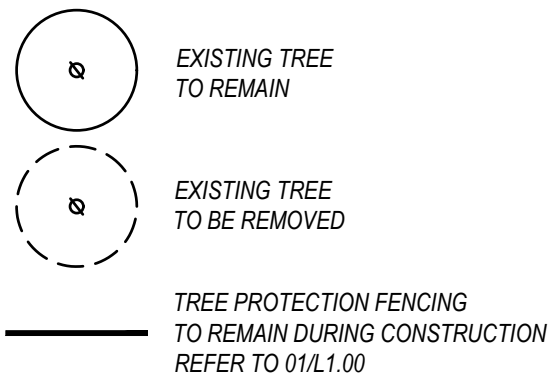
Planning & Zoning Commission, Chairman Director of Planning and Zoning



VICINITY MAP

N.T.S.

EXISTING TREE LEGEND



EXISTING TREE NOTES

- EXISTING TREES TO REMAIN SHALL BE PROTECTED DURING CONSTRUCTION FROM TREE STRUCTURE DAMAGE AND COMPACTION OF SOIL UNDER AND AROUND DRIPLINE (CANOPY) OF TREE.
- IF ANY ROOT STRUCTURE IS DAMAGED DURING ADJACENT EXCAVATION/CONSTRUCTION, NOTIFY THE ARCHITECT IMMEDIATELY. IT IS RECOMMENDED THAT A LICENSED ARBORIST BE SECURED FOR THE TREATMENT OF ANY POSSIBLE TREE WOUNDS.
- NO DISTURBANCE OF THE SOIL GREATER THAN 4" SHALL BE LOCATED CLOSER TO THE TREE TRUNK THAN 1/2 THE DISTANCE OF THE DRIP LINE TO THE TREE TRUNK. A MINIMUM OF 75% OF THE DRIP LINE AND ROOT ZONE SHALL BE PRESERVED AT NATURAL GRADE.
- ANY FINE GRADING DONE WITHIN THE CRITICAL ROOT ZONES OF THE PROTECTED TREES MUST BE DONE WITH LIGHT MACHINERY SUCH AS A BOBCAT OR LIGHT TRACTOR. NO EARTH MOVING EQUIPMENT WITH TRACKS IS ALLOWED WITHIN THE CRITICAL ROOT ZONE OF THE TREES.
- MATERIAL STORAGE: NO MATERIALS INTENDED FOR USE IN CONSTRUCTION OR WASTE MATERIALS ACCUMULATED DUE TO EXCAVATION OR DEMOLITION SHALL BE PLACED WITHIN THE LIMITS OF THE DRIPLINE OF ANY TREE.
- EQUIPMENT CLEANING/LIQUID DISPOSAL: NO EQUIPMENT MAY BE CLEANED, TOXIC SOLUTIONS, OR OTHER LIQUID CHEMICALS SHALL BE DEPOSITED WITHIN THE LIMITS OF THE DRIPLINE OF A TREE. THIS WOULD INCLUDE BUT NOT BE LIMITED TO PAINT, OIL, SOLVENTS, ASPHALT, CONCRETE, MORTAR, PRIMERS, ETC.
- TREE ATTACHMENTS: NO SIGNS, WIRES OR OTHER ATTACHMENTS, OTHER THAN THOSE OF A PROTECTIVE NATURE SHALL BE ATTACHED TO ANY TREE.
- VEHICULAR TRAFFIC: NO VEHICULAR AND CONSTRUCTION EQUIPMENT TRAFFIC OR PARKING IS ALLOWED WITHIN THE LIMITS OF THE DRIPLINE OF TREES.
- BORING OF UTILITIES: MAY BE PERMITTED UNDER PROTECTED TREES IN CERTAIN CIRCUMSTANCES. THE MINIMUM LENGTH OF THE BORE SHALL BE THE WIDTH OF THE TREE'S CANOPY AND SHALL BE A MINIMUM DEPTH OF FORTY- EIGHT (48) INCHES.
- TRENCHING: ANY IRRIGATION TRENCHING WHICH MUST BE DONE WITHIN THE CRITICAL ROOT ZONE OF A TREE SHALL BE DUG BY HAND AND ENTER THE AREA IN A RADIAL MANNER.
- TREE FLAGGING: ALL TREES TO BE REMOVED FROM THE SITE SHALL BE FLAGGED BY THE CONTRACTOR WITH BRIGHT RED VINYL TAPE (3" WIDTH) WRAPPED AROUND THE MAIN TRUNK AT A HEIGHT OF FOUR (4) FEET ABOVE GRADE. FLAGGING SHALL BE APPROVED BY LANDSCAPE ARCHITECT PRIOR TO ANY TREE REMOVAL. CONTRACTOR SHALL CONTACT LANDSCAPE ARCHITECT WITH 72 HOUR NOTICE TO SCHEDULE ON-SITE MEETING.
- PROTECTIVE FENCING: ALL TREES TO REMAIN, AS NOTED ON DRAWINGS, SHALL HAVE PROTECTIVE FENCING LOCATED AT THE TREE'S DRIPLINE. THE PROTECTIVE FENCING MAYBE COMPRISED OF SNOW FENCING, ORANGE VINYL, CONSTRUCTION FENCING, CHAIN LINK FENCE OR OTHER SIMILAR FENCING WITH A FOUR (4) FOOT APPROXIMATE HEIGHT. THE PROTECTIVE FENCING WILL BE LOCATED AS INDICATED ON THE TREE PROTECTION DETAIL(S).
- BARK PROTECTION: IN SITUATIONS WHERE A TREE REMAINS IN THE IMMEDIATE AREA OF INTENDED CONSTRUCTION, THE TREE SHALL BE PROTECTED BY ENCLOSING THE ENTIRE CIRCUMFERENCE OF THE TREE'S TRUNK WITH LUMBER ENCIROLED WITH WIRE OR OTHER MEANS THAT DOES NOT DAMAGE THE TREE. REFER TO TREE PROTECTION DETAIL(S).
- CONSTRUCTION PRUNING: IN A CASE WHERE A LOW HANGING LIMB IS BROKEN DURING THE COURSE OF CONSTRUCTION, THE CONTRACTOR SHALL NOTIFY THE LANDSCAPE ARCHITECT IMMEDIATELY. IN NO INSTANCE SHALL THE CONTRACTOR PRUNE ANY PORTION OF THE DAMAGED TREE WITHOUT THE PRIOR APPROVAL BY THE LANDSCAPE ARCHITECT.

ISSUE:
FOR APPROVAL: 12.10.2025
CITY COMMENTS: 12.29.2025

DATE:
12.29.2025

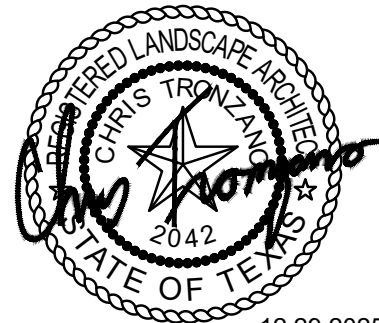
SHEET NAME:
TREE PRESERVATION PLAN

SHEET NUMBER:

L.1



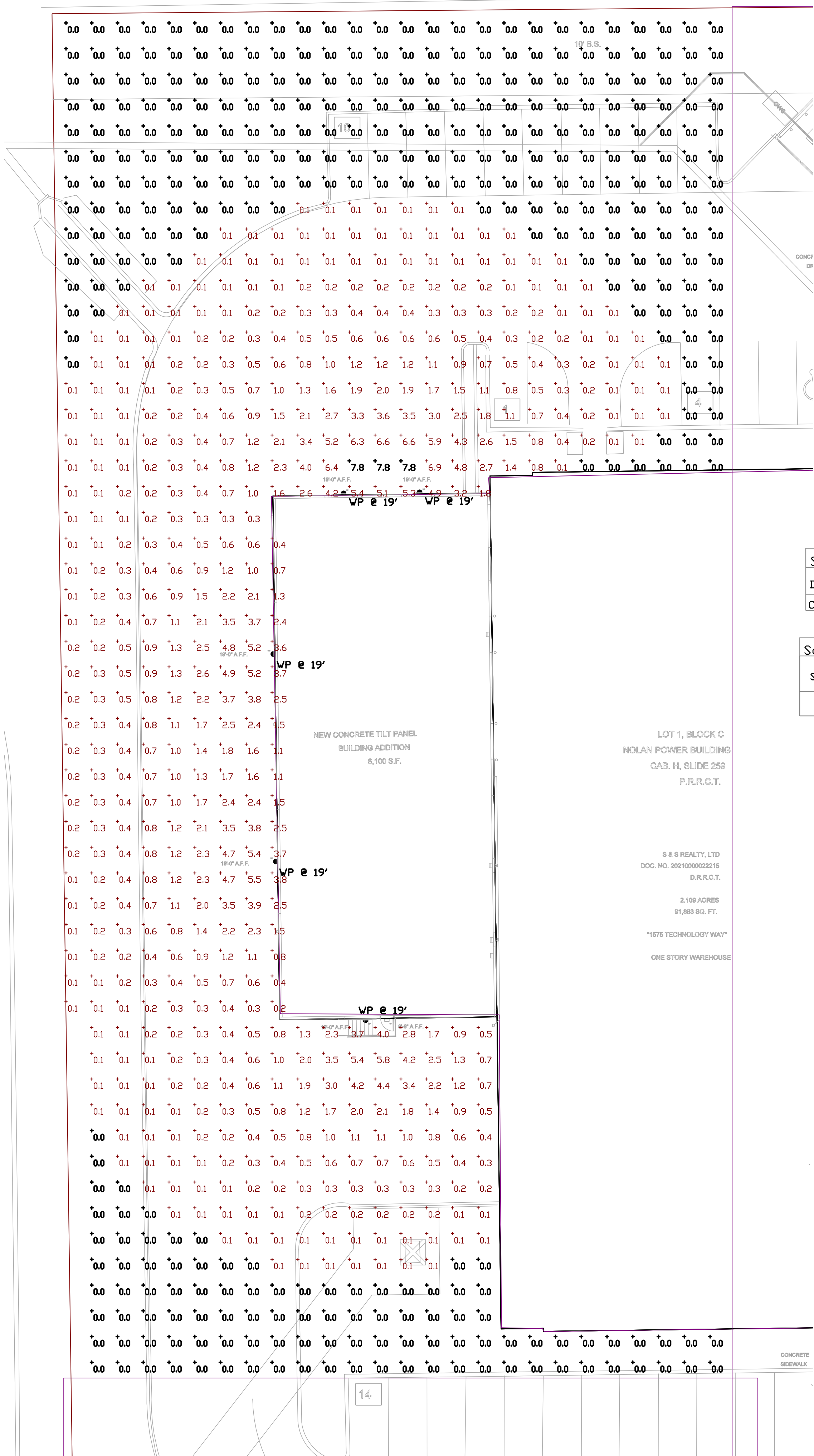
LANDSCAPE ARCHITECT
STUDIO GREEN SPOT, INC.
1782 W. McDERMOTT DR.
ALLEN, TEXAS 75013
(469) 369-4448
CHRIS@STUDIOGREENSPOT.COM



12.29.2025

WAREHOUSE ADDITION

OBSERVATION TRAIL AND TECHNOLOGY WAY
CITY OF ROCKWALL, TEXAS 75032
NOLAN POWER BUILDING LOT 1 BLOCK C



1 SITE AND DRIVE THRU PHOTOMETRIC PLAN
Scale: 1/16" = 1'-0"

PHOTOMETRIC NOTES

ALL FIXTURE HEIGHTS ASSUME A BASELINE ELEVATION OF 0" A.F.F. AT THE CONSTRUCTED BUILDING'S FINISHED FLOOR SLAB. FIXTURE HEIGHTS GIVEN ARE FOR THE CENTERLINE MOUNTING HEIGHT. FIXTURE HEIGHTS DO NOT REFLECT THE HEIGHT OF THE FIXTURE ITSELF. FIXTURE LOCATIONS AND DIRECTION ARE FOR DESIGN INTENT PURPOSES, ADJUSTMENTS OR RELOCATIONS MADE IN FIELD MAY CAUSE PHOTOMETRIC VALUES TO ALTER FROM INTENT SHOWN PER THIS PLAN SHEET.

LIGHTING SHOWN IS DESIGNED BASED ON THE WRITTEN INSTRUCTIONS PROVIDED TO THE ENGINEER AT THE TIME OF DESIGN. FIXTURES PER THE SCHEDULE MUST BE SEPARATELY APPROVED BY THE GENERAL CONTRACTOR, AND LANDLORD / TENANT (AS APPLICABLE) PRIOR TO PURCHASE AND INSTALLATION. ALTERNATIVE FIXTURES SHALL BE PROVIDED AS A SUBMITTAL TO THE ENGINEER FOR REVIEW. SUBMITTAL FOR THE PROPOSED ALTERNATIVE FIXTURE SHALL INCLUDE A PRODUCT DATA SHEET AND PHOTOMETRIC STUDY FOR COMPARISON TO THE PHOTOMETRIC STUDY PROVIDED HERE-IN AS THE BASIS OF DESIGN.

PHOTOMETRIC CALCULATIONS AS DRAWN FACTOR NEW CONSTRUCTION TO BE PROVIDED ONLY, AND ASSUME NO TOPIARY, FOLIAGE, TREES OR OTHER BOUNDARIES, BARRIERS OR OBSTRUCTIONS THAT MAY BE PRESENT. LIGHT LEVELS SHOWN DO NOT REFLECT ADDITIONAL BOUNDARIES, OBSTRUCTIONS, TENANT CONSTRUCTION, ELEVATION CHANGES, OR EXISTING FIXTURES OR LIGHTING OUTSIDE OF PLAN SCOPE OF WORK, AND MAY NOT FULLY REFLECT FINAL CONDITIONS OR CONSTRUCTION.

Statistics						
Description	Symbol	Avg	Max	Min	Max/Min	Avg/Min
Calc Zone #3	+	0.6 fc	7.8 fc	0.0 fc	N/A	N/A

Schedule							
Symbol	Label	Quantity	Catalog Number	Description	Number Lamps	Lumens Per Lamp	Wattage
	WP	5	WPX1 @ 30W / 4000K	LED	1	4739	32.4

CASE NUMBER: SP2025-044

APPROVED:
I HEREBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF ____, ____.

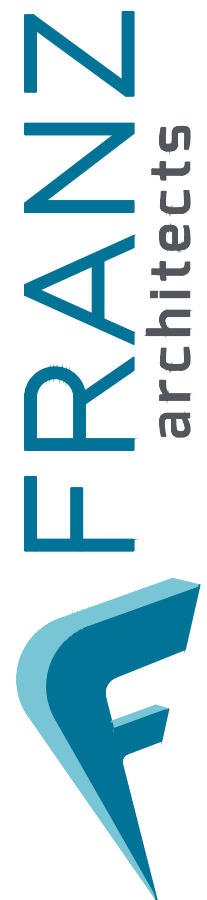
WITNESS OUR HANDS, THIS ____ OF ____, ____.

PLANNING & ZONING COMMISSION, CHAIRMAN DIRECTOR OF PLANNING & ZONING

CASE
Engineering Inc.

796 Merus Court T 636.349.1600
St. Louis, MO 63026 F 636.349.1730
CERTIFICATE OF AUTHORITY NO. F-20080

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7608 Benbrook Parkway
Benbrook, Texas 76126
(817) 737-9922
www.franzarchitects.com

STANDARD SUPPLY WAREHOUSE
1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

File Name: 25233-E302
Project No: 25233
Date: 12/08/2025
Drawn By: T
Checked By:

SHEET
E1.0
PHOTOMETRIC PLAN

WPX1

RAB



Color: Bronze

Weight: 6.2 lbs

Project:

Type:

Prepared By:

Date:

Driver Info

Type	Constant	Watts	30/20/15W
120V	0.28A/0.22A/0.14A	Color Temp	3000/4000/5000K
208V	0.14A/0.10A/0.07A	Color Accuracy	82-84 CRI
240V	0.13A/0.08A/0.06A	L70 Lifespan	100,000 Hours
277V	0.12A/0.07A/0.05A	Lumens	2,497-4,739 lm
Input Watts	17.7-33.3W	Efficacy	134.6-146.8 lm/W

LED Info

Technical Specifications

Field Adjustability

Field Adjustable:

Field Adjustable Light Output:
30W/20W/15W (factory default 30W)
Color temperature selectable 3000K, 4000K and 5000K (factory default 4000K)

Compliance

UL Listed:

Suitable for wet locations

IP Rating:

Ingress protection rating of IP65 for dust and water

Trade Agreements Act Compliant:

This product is a product of Cambodia and a "designated country" end product that complies with the Trade Agreements Act

DLC Listed:

This product is listed by Design Lights Consortium (DLC) as an ultra-efficient premium product that qualifies for the highest tier of rebates from DLC Member Utilities. Designed to meet DLC S.1 requirements.
DLC Product Code: S-MW1VZF

Electrical

Driver:

Constant Current, Class 2, 120-277V, 50/60 Hz
30W: 120V: 0.28A 208V: 0.14A, 240V: 0.13A, 277V: 0.12A
20W: 120V: 0.22A 208V: 0.10A, 240V: 0.08A, 277V: 0.07A
15W: 120V: 0.14A 208V: 0.07A, 240V: 0.06A, 277V: 0.06A

Dimming Driver:

Driver includes dimming control wiring for 0-10V dimming systems. Requires separate 0-10V DC dimming circuit. Dims separate to 10%.

THD:

30W: 2.82% at 120V, 9.29% at 277V
20W: 3.16% at 120V, 11.85% at 277V
15W: 5.05% at 120V, 20.56% at 277V

Power Factor:

30W: 99.7% at 120V, 93.5% at 277V
20W: 99.6% at 120V, 90.2% at 277V
15W: 98.9% at 120V, 81.6% at 277V

Photocell:

Integrated photocell included with on/off switch

Surge Protection:

4kV

Performance

Lifespan:

100,000-Hour LED lifespan based on IES LM-80 results and TM-21 calculations

Wattage Equivalency:

30W: Replaces up to 125W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
20W: Replaces up to 100W Metal Halide (MH) or 100W High-Pressure Sodium (HPS)
15W: Replaces up to 70W Metal Halide (MH) or 70W High-Pressure Sodium (HPS)

LED Characteristics

LEDs:

Long life, high efficacy, surface-mount LEDs

Color Uniformity:

RAB's range of Correlated Color Temperature follows the guidelines of the American National Standard for Specifications for the Chromaticity of Solid State Lighting (SSL) Products, ANSI C78.377-2017.

Construction

Housing:

Aluminum alloy

Lens:

Prismatic, heat-resistant borosilicate glass

WPX1

RAB

Technical Specifications (continued)

Reflector:

Aluminum

Gaskets:

High-temperature silicone

Cold Weather Starting:

The minimum starting temperature is -40°C (-40°F)

Maximum Ambient Temperature:

Suitable for use in up to 40°C (104°F)

Green Technology:

Mercury and UV free. RoHS compliant components.

Finish:

Formulated for high durability and long-lasting color

Installation

Mounting:

Hinged wiring access and conduit entries on the back sides, top and bottom make installation a snap

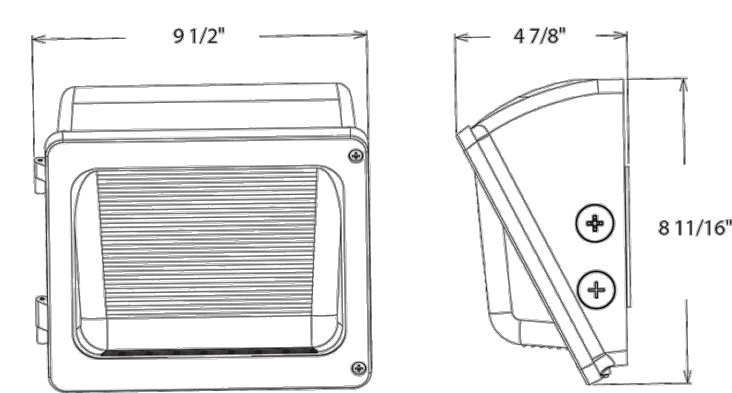
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Other

Warranty:

RAB warrants that our LED products will be free from defects in materials and workmanship for a period of ten (10) years from the date of delivery to the end user, including coverage of light output, color stability, driver performance and fixture finish. RAB's warranty is subject to all terms and conditions found at rablighting.com/warranty.

Dimensions



Features

100,000-Hour LED lifespan
0-10V dimming standard
10-Year, no-compromise warranty

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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Page 2 of 3

WPX1

RAB

Ordering Matrix

Family	Wattage	Color Temp	Finish	Driver	Options
WPX	1				
	1 = 30/20/15W 2 = 80/60/40W 3 = 130/100/65W	Blank = 3000/4000/5000K Adjustable	Blank = Bronze W = White	Blank = 120-277V, 0-10V Dimming /480 = 480V, 0-10V Dimming	Blank = Selectable On/Off Photocell /MVS = Microwave Motion Sensor /LCB = Lightcloud Blue /LCB/MVS = Lightcloud Blue w/MVS Sensor /E = Battery Backup ¹ /MVS/E = Microwave Motion Sensor w/Battery Backup ¹ /LC/E = Lightcloud w/Battery Backup ¹

¹ 480V available only in WPX2 and WPX3 models
¹ Battery backup available only for WPX2 and WPX3 in 120-277V models

Need help? Tech help line: (888) 722-1000 Email: techsupport@rablighting.com Website: www.rablighting.com
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Page 3 of 3

LIGHTING FIXTURE NOTES

ENGINEER'S SCOPE OF WORK IS FOR SELECTION AND MODELING OF SITE LIGHTING FOR BUILDING EXPANSION PER SHEET E1.0, AND COMPLIANCE WITH LIGHTING DISTRIBUTION WITH AUTHORITY HAVING JURISDICTION AND OWNER. THIS ENGINEER IS NOT RESPONSIBLE FOR DESIGNING LIGHTING CONTROLS, POWER SYSTEMS, PANEL SCHEDULES, DETAILED SCOPE OF WORK, DETAILS. ENERGY COMPLIANCE FOR NEW LIGHTING HAS NOT BEEN PERFORMED BY ENGINEER DUE TO UNAVAILABLE INFORMATION FOR THE EXISTING SITE AND SITE LIGHTING CONDITIONS. LIGHTING FIXTURE SPECIFICATION SHOWN IS SELECTED BY ENGINEER TO MEET THE MINIMUM REQUIREMENTS OF THE OWNER AND AUTHORITY HAVING JURISDICTION. THE ELECTRICAL CONTRACTOR (E.C.) SHALL NOT PROVIDE BID FOR USE OF LIGHTING FIXTURES SPECIFIED BY ENGINEER, WITHOUT FINAL APPROVAL FROM THE G.C. AND OWNER.

IF THE OWNER AND G.C. APPROVE USE OF THE LIGHTING FIXTURE AS SPECIFIED BY THE ENGINEER, THE OWNER AND G.C. SHALL COORDINATE THE OPTIONS AND SPECIFICATIONS AVAILABLE TO THE LIGHT FIXTURE FOR USE PRIOR TO ORDERING. RESPONSIBILITY OF INSTALLATION AND COORDINATION OF CONTROLS, NEW OR EXISTING, SHALL BE PROVIDED BY OTHERS, INCLUDING ANY DETAILS OR SUBMISSIONS REQUIRED.

ANY PROPOSED FIXTURE SUBSTITUTIONS, ALTERATIONS, RELOCATIONS, HEIGHT CHANGES, ETC. SHALL BE PROVIDED TO THE ENGINEER PRIOR TO FINAL BID. PROPOSED CHANGES SHALL BE EVALUATED AND PROVIDED WITH NEW PHOTOMETRIC DESIGN TO ENSURE COMPLIANCE. ENGINEER SHALL REJECT ANY CHANGES THAT CAUSE COMPLIANCE WITH LOCAL CODES AND ORDINANCES TO NOT BE MET. ANY CHANGES, SUBSTITUTIONS, ALTERATIONS, MODIFICATIONS, ETC. THAT ARE MADE BY THE E.C. WITHOUT ACCEPTANCE OF THE ENGINEER SHALL BE MADE AT THEIR OWN RISK AND RESPONSIBILITY, AND ANY CONDITIONS THAT ARE NOT IN COMPLIANCE WITH LOCAL CODES AND ORDINANCES SHALL BE AT E.C.'S EXPENSE TO CORRECT.

CASE NUMBER: SP2025-044

APPROVED:
I HEARBY CERTIFY THAT THE ABOVE AND FORGOING SITE PLAN FOR A DEVELOPMENT IN THE CITY OF ROCKWALL, TEXAS, WAS APPROVED BY THE PLANNING & ZONING COMMISSION OF THE CITY OF ROCKWALL ON THE ____ DAY OF _____, ____.

WITNESS OUR HANDS, THIS ____ OF _____, ____.

PLANNING & ZONING COMMISSION, CHAIRMAN

DIRECTOR OF PLANNING
& ZONING

CASE
Engineering Inc.

796 Merus Court
St. Louis, MO 63026

T 636.349.1600
F 636.349.1730

CERTIFICATE OF AUTHORITY NO. F-20080

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FRANZ
architects

(817) 737-9922

www.Franzarchitects.com

7608 Benbrook Parkway
Benbrook, Texas 76126

STANDARD SUPPLY WAREHOUSE

1575 TECHNOLOGY WAY
ROCKWALL, TX 75032

Revisions:

File Name: 25233-E302

Project No: 25233

Date: 12/08/2025

Drawn By: _____

Checked By: _____

Ti

SHEET

E1.1

PHOTOMETRIC SPECS



CITY OF ROCKWALL

PLANNING AND ZONING COMMISSION MEMORANDUM

PLANNING AND ZONING DEPARTMENT

385 S. GOLIAD STREET • ROCKWALL, TX 75087

PHONE: (972) 771-7745 • EMAIL: PLANNING@ROCKWALL.COM

TO: Planning and Zoning Commission

FROM: Bethany Ross, *Senior Planner*

DATE: January 13, 2026

SUBJECT: SP2025-046; *Amended Site Plan for 3400 Discovery Boulevard (Pratt Industries)*

The applicant -- *Chet Leugers of Westwood Professional Services* --, is requesting approval of an *Amended Site Plan* to allow for the expansion of an existing *Warehouse/Distribution Facility* located at 3400 Discovery Boulevard. The subject property is described as Lot 1, Block A, Rockwall Technology Park, Phase IV Addition and is zoned Light Industrial (LI) District.

The original *Site Plan* [Case No. SP2016-012] for this property was approved by the City Council on June 20, 2016, in conjunction with multiple variances and exceptions to the requirements of the Unified Development Code (UDC). These variances and exceptions related to parking, building materials, articulation, screening, and detention basin landscaping. The approved development included a large-scale warehouse and manufacturing facility utilizing tilt-wall construction, reduced parking ratios, alternative screening methods, and modified landscaping standards. The current request proposes an expansion of the existing facility while maintaining the overall industrial character and operational function of the existing site.

The *Amended Site Plan* reflects an expansion (*i.e.* 342,975 SF) of the existing building footprint (*i.e.* 388,848 SF) resulting in a total square footage of 731,823 SF. The *Amended Site Plan* also reflects adjustments to internal circulation, additional truck parking areas, and corresponding updates to the landscaping, tree mitigation, and site lighting. The proposed expansion is designed to integrate with the previously approved development pattern and continues to utilize tilt-up concrete construction consistent with the original approval. Building elevations submitted with the *Amended Site Plan* indicate the change of the established color palette from blue to *Pratt Industries Green*, but continues the use of material treatment, and façade articulation that was previously accepted by City Council.

With respect to zoning and dimensional standards, the proposed *Amended Site Plan* remains in general conformance with the Light Industrial (LI) District requirements for minimum lot area, setbacks, maximum building height, floor area ratio, and impervious coverage. The expansion does not increase the overall building height beyond what was previously approved.

Staff has identified several areas where the *Amended Site Plan* continues to rely on previously granted variances or requires acknowledgment of the existing nonconformities. The parking remains reduced from the minimum standards established under Table 5, *Parking Requirement Schedule*, of Article 06, *Parking and Loading*, of the Unified Development Code (UDC), which requires one (1) parking space per 1,000 square feet of warehouse area. The expanded facility does not provide the required parking of 732 parking spaces (*i.e.* 731,823 SF/1000 SF = 732 Parking Spaces). The amended site plan shows 212 parking spaces provided; however, the reduction in parking is consistent with the operational characteristics of the facility and aligns with the variance approved by the City Council in 2016. When this variance was approved, the company explained to the City Council that their facility is heavily automated and their per shift parking needs were much lower than the City's requirements. This provided the basis for the variance that was approved at that time, and this rationale remains consistent with the proposed expansion.

The building elevations continue to utilize tilt-up concrete wall panels in lieu of the minimum masonry and stone requirements outlined in Subsection 05.01, *General Industrial District Standards*, of the Unified Development Code (UDC). Specifically, the *General Industrial District Standards* require a minimum of 90.00% masonry construction with at least 20.00% natural or quarried stone on façades visible from public rights-of-way. The proposed expansion mirrors the previously approved exception allowing only tilt-wall construction and does not introduce new façade treatments that would exacerbate the existing deviation.

Articulation along façades facing Discovery Boulevard and Capital Boulevard remain consistent with the previously approved variances to the horizontal and vertical articulation standards of Subsection 05.01, *General Industrial District Standards*, of the

Unified Development Code (UDC). The expansion does not significantly alter the massing or visual impact of the structure beyond what was contemplated with the original approval.

The Landscape Plan and Treescape Plan demonstrate compliance with Article 08, *Landscape and Fence Standards* and Article 09, *Tree Preservation*, of the Unified Development Code (UDC), with tree mitigation requirements addressed through on-site preservation and replacement. Tree removal associated with the expansion has been accounted for, and mitigation calculations indicate that the required caliper inches are satisfied. It should be noted that the current landscaping that has died or been removed from the site shall be replaced with new plantings in accordance with the original site plan approved in 2016, and this is considered to be a condition of the approval of this site plan. Additionally, staff provided comments that the landscape plan shall be revised to incorporate additional and more concentrated plantings in key areas of the site to enhance visual screening and soften views of parking, loading, and service areas from adjacent public streets and surrounding properties. In particular, staff suggests clustering trees and understory plantings along the Discovery Boulevard frontage and at the southeastern and southwestern corners of the site, as depicted in the markups, to strengthen the required landscape buffer and improve overall site aesthetics. These planting enhancements are intended to supplement the baseline landscape requirements of the Unified Development Code (UDC) and provide more effective screening consistent with the scale and visibility of the proposed development. This is also considered to be a condition of approval for this site plan, and a new landscape plan depicting conformance to this requirement shall be required prior to the submittal of civil engineering plans.

The Photometric Plan indicates that site lighting is designed to remain within the maximum height and light spill limitations established by Subsection 03.03 (C), of Article 07, *Environmental Performance*, of the Unified Development Code (UDC), requiring lighting standards that illumination levels at property lines not to exceed 0.20 foot-candles. Based on staff's review, the submitted photometric plan demonstrates compliance with these standards, subject to final verification at the time of building permit review.

In summary, the proposed *Amended Site Plan* represents a logical expansion of an existing industrial facility previously approved by the City Council with multiple variances and exceptions. The expansion generally complies with the applicable standards of the Unified Development Code (UDC) and remains consistent with the intent and conditions of the original *Site Plan* approval. For reference, staff has provided a copy of the original *Site Plan* case memo, which details the variances and exceptions previously granted to the property. If approved, all of staff's review comments shall be fully addressed and incorporated into the project prior to the submittal of engineering plans. No engineering plans shall be accepted for review until staff has verified that all outstanding comments have been satisfactorily resolved. Should the Planning and Zoning Commission have any questions, staff and the applicant will be available at the January 13, 2026 Planning and Zoning Commission meeting.

PROJECT COMMENTS



CITY OF ROCKWALL
385 S. GOLIAD STREET
ROCKWALL, TEXAS 75087
PHONE: (972) 771-7700

DATE: 12/19/2025

PROJECT NUMBER: SP2025-046
PROJECT NAME: Site Plan for 3400 Discovery Blvd
SITE ADDRESS/LOCATIONS: 3400 Discovery Blvd

CASE CAPTION: Discuss and consider a request by Chet Leugers of Westwood Professional Services on behalf of Shannon Foltz of the Rockwall Economic Development Corporation (REDC) for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 41.04-acre tract of land identified as Lot 1, Block A, Rockwall Technology Park, Phase IV Addition and Tract 1 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 3400 Discovery Boulevard, and take any action necessary.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PLANNING	Bethany Ross	12/19/2025	Approved w/ Comments

12/19/2025: SP2025-046: Amended Site Plan for 3400 Discovery Boulevard

Please address the following comments (M= Mandatory Comments; I = Informational Comments)

I.1 This is a request for the approval of an Amended Site Plan for the expansion of an Existing Warehouse/Manufacturing Facility on a 41.04-acre tract of land identified as Lot 1, Block A, Rockwall Technology Park, Phase IV Addition and Tract 1 of the J. H. B. Jones Survey, Abstract No. 125, City of Rockwall, Rockwall County, Texas, zoned Light Industrial (LI) District, addressed as 3400 Discovery Boulevard.

I.2 For questions or comments concerning this case please contact Bethany Ross in the Planning Department at (972) 772-6488 or email bross@rockwall.com.

M.3 For reference, include the case number (SP2025-046) in the lower right-hand corner of all pages of all revised plan submittals. (Subsection 01.02(D), Article 11, UDC)

M.4 Provide the standard signature block with signature space for the Planning and Zoning Chairman and the Planning Director on all pages of the plans. (Subsection 03.04. A, of Article 11)

APPROVED:

I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of _____, ____.

WITNESS OUR HANDS, this ____ day of _____, ____.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

M.5 Please provide a detail of the outside storage area and provide a letter detailing what is to be stored. (Subsection 01.05(E), of Article 05, UDC)

M.6 Site Plan:

(1) Please crosshatch any areas where there will be outside storage of any kind. Please see attached Staff Markups on locations of existing outside storage. (Subsection 01.05 (E), Article 05, UDC)

M.7 Building Elevations.

(1) Provide a Material Sample Board showing the paint color. We do not need actual samples of the paint. Please provide a board with the color shown. (Subsection 04.01, Article 05, UDC)

(2) Dash in the RTUs on the building elevations. RTUs will need to be screened from any view of the building. If not by parapet then they will need louver screening. (Subsection 06.01(3), Article 05, UDC).

(3) All structures shall have the option of being constructed with either a pitched (minimum of a 6:12 roof pitch), parapet, or mansard roof system as long as the roof system is enclosed on all sides. Metal roofs with lapped seam construction, bituminous built-up roofs, and/or flat membrane type roofs that are visible from adjacent properties or public right-of-way shall be prohibited. Projecting elements and parapets that are visible from adjacent properties or public right-of-way shall be finished on the interior side using the same materials as the exterior facing wall. (Subsection 05.01.A(2), Article 05, UDC) Update elevations to show parapet on all four sides.

(4) Label building elevations to show which areas are the additions.

M.8 Landscape Plan.

(1) The entire site is subject to the landscape requirements of the UDC. (Subsection 02.01(A.1), Article 08, UDC)

(2) Cluster screening in the area just south of the new addition. (Subsection 01.05 (E), Article 05, UDC)

(3) Continue the dock screening throughout the landscape area west of the building. (Subsection 01.05 (E), Article 05, UDC)

(4) Provide landscaping in the areas where existing landscape has died or been removed.

(5) Detention basins shall be landscaped in a natural manner using ground cover, grasses, shrubs, berms, and accent and canopy trees. There shall be a minimum of one (1) Canopy Tree per 750 SF and one (1) Accent Tree per 1,500 SF of detention area. (Subsection 05.03 (D), Article 05, UDC)

M.9 Treescape Plan.

(1) Accent trees do not count towards mitigation. Only trees more than 4-inch caliper count towards tree mitigation. (Section -05, Article 09, UDC). Please update your treescape plan/table to reflect this.

(2) Since you are planting trees on-site, the remaining balance is eligible for a reduction in the cost of tree preservation credits of up to 50%. Therefore, the remaining balance will be \$100 per inch. (Section 05.F.3, Article 09, UDC). Please update your treescape plan/table to reflect this.

I.10 Staff has identified the aforementioned items necessary to continue the submittal process. Please make these revisions and corrections, and provide any additional information that is requested. Revisions for this case will be due on January 6, 2026; however, it is encouraged for applicants to submit revisions as soon as possible to give staff ample time to review the case prior to the January 13, 2026 Planning & Zoning Meeting.

I.11 Please note the scheduled meetings for this case:

1) Planning and Zoning Public Hearing meeting will be held on January 13, 2026.

I.12 All meetings will be held in person and in the City's Council Chambers. All meetings listed above are scheduled to begin at 6:00 p.m. (P&Z). The City requires that a representative(s) be present for these meetings. During the upcoming work session meeting with the Planning and Zoning Commission, representative(s) are required to present their case and answer any questions the Planning Commission may have regarding this request. Please also note the Architecture Review Board will review the building elevations for this site plan an hour before the scheduled Planning and Zoning meetings (at 5:00 PM), it is highly encouraged that your project architect attends this meeting.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
ENGINEERING	Madelyn Price	12/18/2025	Approved w/ Comments

12/18/2025: 1. Grate inlets not allowed. Need to send drainage to a curb inlet.

2. All of the existing utilities that run under here will need to be relocated and easements rededicated. You cannot place a building within utility easements.

General Items:

General Items:

- Must meet City's 2023 Standards of Design and Construction Manual
- 4% Engineering Inspection Fees
- Impact Fees (Water, Sewer & Roadway)
- Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
- Retaining walls (if needed) 3' and over must be engineered.
- Retaining walls (if needed) 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
- No signage is allowed within easements or ROW. No structures or fences with easements.
- Tree mitigation will be required for the removal of any existing trees on site.
- Show commercial dumpster locations on the site plan. Dumpsters may not directly face a roadway.
- No structures including walls and overhangs allowed in easements
- Additional comments may be provided at time of Site Plan and Engineering.

Roadway Paving Items:

- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
- All Parking to be 20'x9' minimum.
- No dead-end parking allowed without a City approved turnaround area.
- All drive isles to be 24' wide.
- Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
- Fire lane (if needed) to be in a platted easement.
- City driveway spacing requirements must be met if adding driveways.

Water and Wastewater Items:

- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
- Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
- Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
- All commercial sewer connections must be made by a proposed or existing manhole.
- Min 20' utility easements. No structures allowed in easements
- Water to be 10' separated from storm and sewer lines.
- All public utilities must be centered in an easement.
- Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
- If removing or relocating any Industrial Discharge sample site, you must get with NTMWD to re-establish a new/relocated sample site.
- \$2,773.07/acre sewer pro-rata and \$379.24/acre lift station & force main pro-rata

Drainage Items:

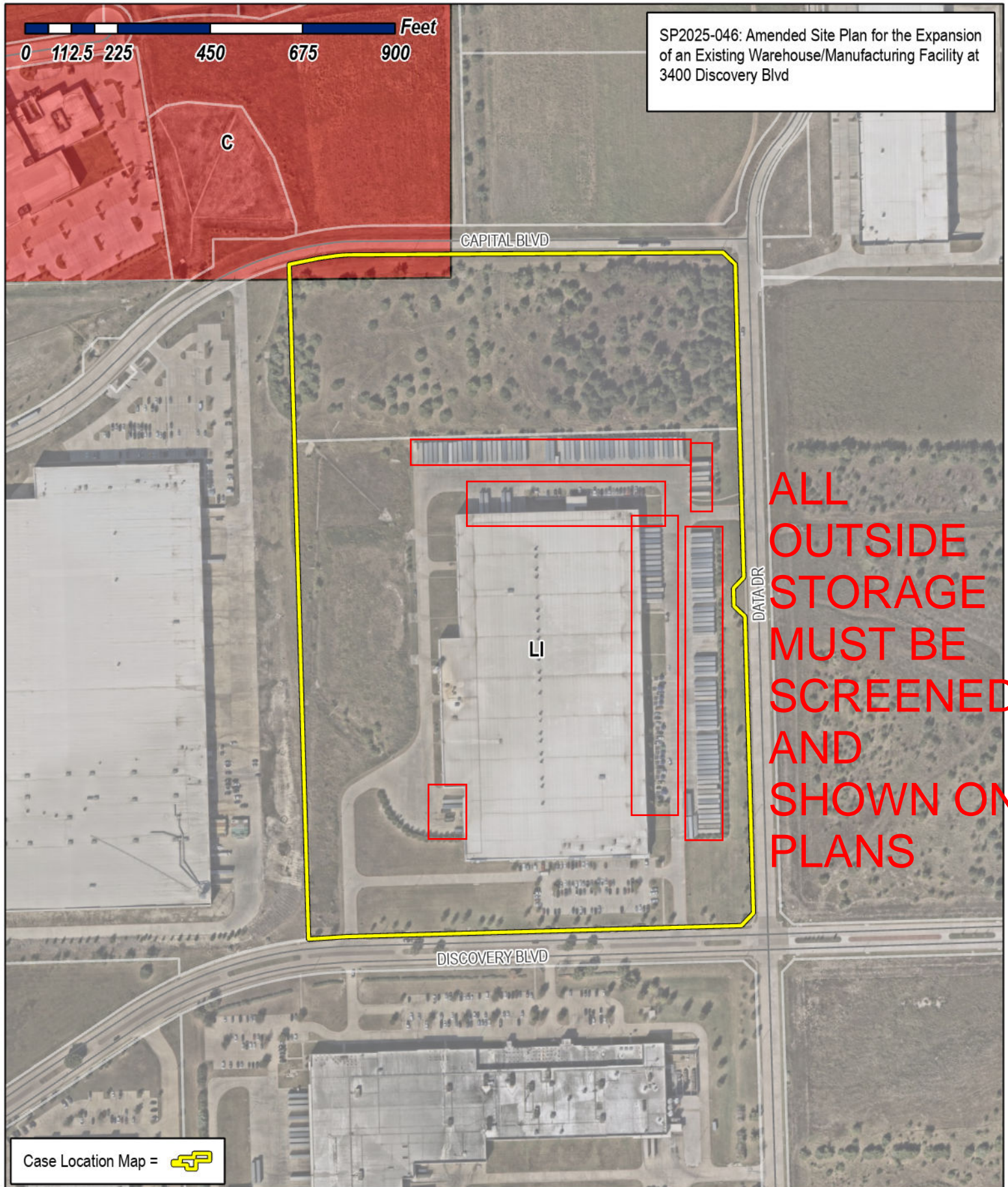
- Existing flow patterns must be maintained.
- Must verify that detention has been provided for the new area and the detention that is being removed.
- The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
- No grate inlets allowed.
- FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
- Dumpster areas shall drain to an oil/water separator and then into the storm drainage system.

Landscaping:

- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
- No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
- No landscape berms or tree plantings shall be located on top of City utilities or within easements.

DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
BUILDING	Craig Foshee	12/18/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
FIRE	Ariana Kistner	12/17/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
GIS	Lance Singleton	12/15/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT

POLICE	Chris Cleveland	12/15/2025	Approved
No Comments			
DEPARTMENT	REVIEWER	DATE OF REVIEW	STATUS OF PROJECT
PARKS	Travis Sales	12/15/2025	Approved w/ Comments
12/15/2025: There are more drought, shade, cold and wear tolerant turf varieties such as Tif Tuf and Tahoma 31 Informational only.			



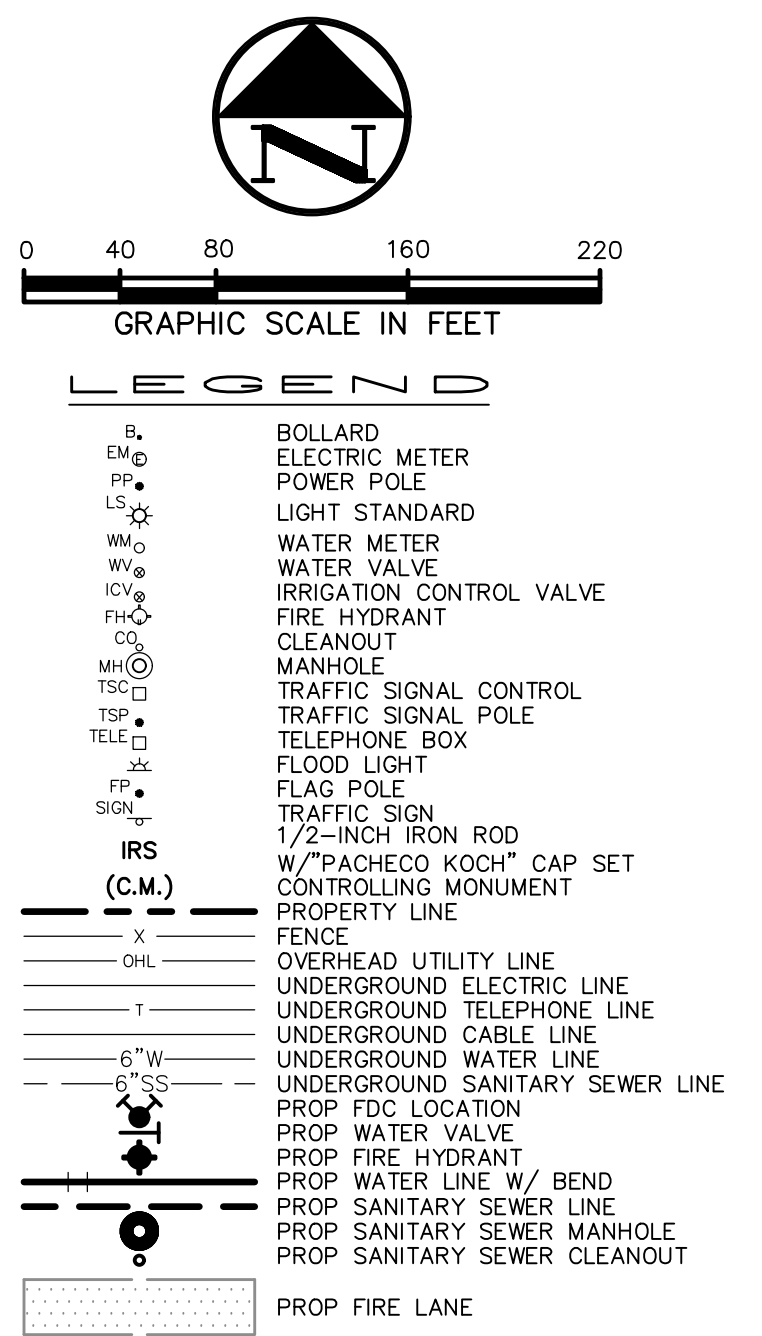
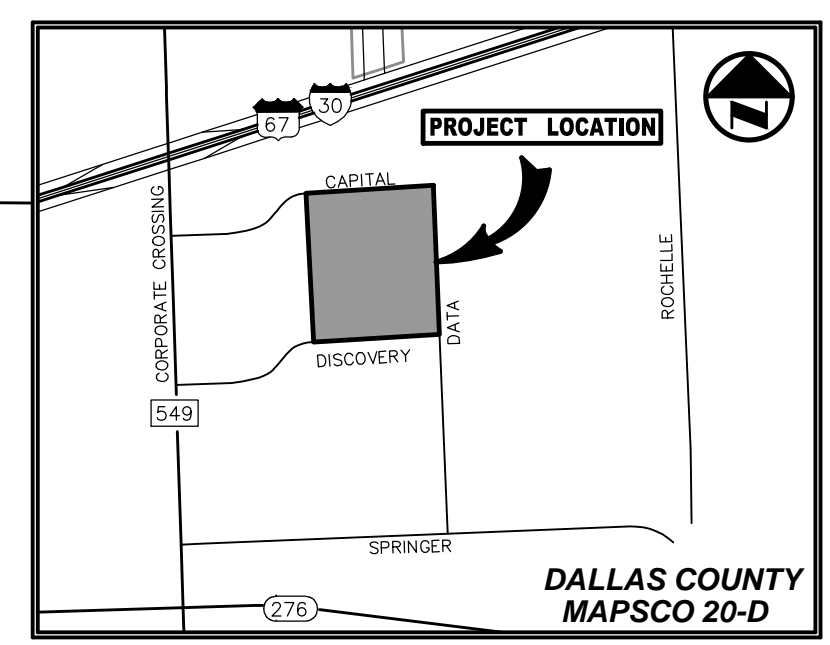
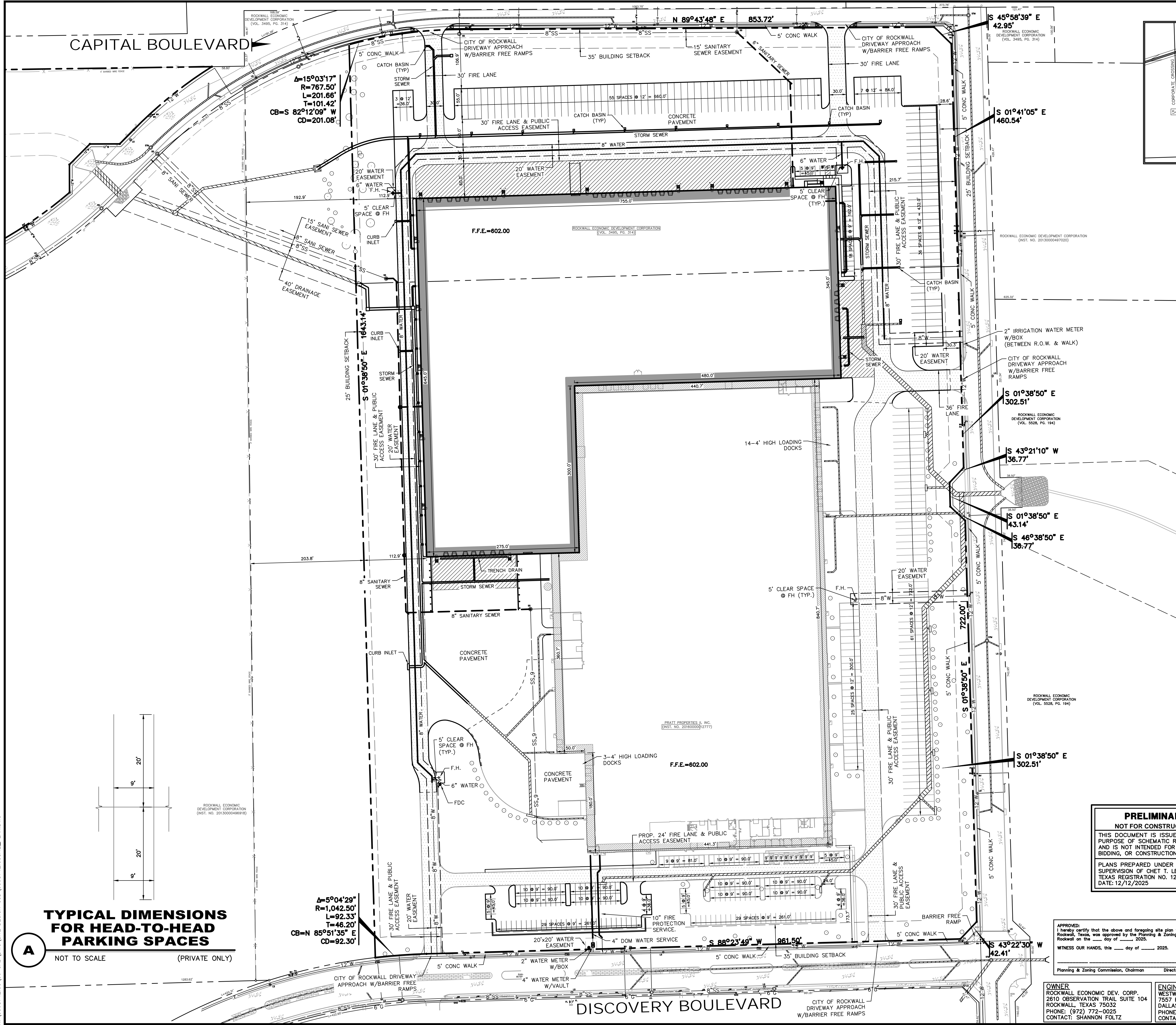
City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



C:\BARRANAGATOR\12/11/2025 5:28 PM N:\0068742\00\06 CAD\DWG\SITE DESIGN C3D\0068742\00SITE_PLANDWG



SITE PLAN NOTES

- A SEPARATE SIGN PERMIT WILL BE REQUIRED FOR ALL SIGNS.
 - THE INTENT OF THIS PLAN IS TO SHOW THE CONCEPTUAL DRAINAGE DESIGN FOR THE PROPOSED PROJECT AS PART OF THE SITE PLAN APPROVAL PROCESS ONLY AND SHALL NOT BE CONSTRUCTED AS A FINAL DESIGN.
 - LIGHTING LEVELS ARE NOT TO EXCEED 0.20-FC AT THE PROPERTY LINE(S).
 - SUBJECT PROPERTY IS SHOWN ON THE NATIONAL FLOOD INSURANCE PROGRAM FLOOD INSURANCE RATE MAP FOR ROCKWALL COUNTY, TEXAS AND INCORPORATED AREAS, MAP NO. 48397C0045L, COMMUNITY-PANEL NO. 4804530045 L, EFFECTIVE DATE: SEPTEMBER 26, 2008. ALL OF THE SUBJECT PROPERTY IS SHOWN TO BE LOCATED IN ZONE "X" ON SAID MAP. THE LOCATION OF THE SAID FLOODZONES BASED ON SAID MAP IS APPROXIMATE AND IS NOT LOCATED ON THE GROUND. RELEVANT ZONES ARE DEFINED ON SAID PAM AS FOLLOWS:
UNDER ZONE X - OTHER AREAS: AREAS DETERMINED TO BE OUTSIDE 100-YEAR FLOOD PLAIN.
 - THE SUBJECT SITE HAS A DRAINAGE DIVIDE THAT ROUGHLY BISECTS THE SITE. STORM WATER DETENTION FOR DRAINAGE TO THE WEST OF THE SUBJECT SITE IS PROVIDED IN A REGIONAL DETENTION POND PER PLANS FOR ROCKWALL REGIONAL DETENTION POND (PACHECO KOCH, 2016). STORM WATER DETENTION FOR DRAINAGE TO THE EAST OF THE SUBJECT SITE IS PROVIDED IN A REGIONAL DETENTION POND PER PLANS FOR RTP PHASE V - INFRASTRUCTURE (FREESSE AND NICHOLS, 2021).
1. PROPOSED USE:
INDUSTRIAL FACILITY
2. GROSS BUILDING AREA:
INDUSTRIAL BUILDING: 732,000 SF
NUMBER OF STORIES: 1
3. BUILDING HEIGHT:
MAX BUILDING HEIGHT=40'-4"
4. PARKING REQUIRED:
PARKING RATIO = 1 SPACE PER 1,000 SF OF BUILDING
TOTAL REQUIRED = 732 SPACES
5. PARKING PROVIDED:
PROPOSED REGULAR PARKING = 204 SPACES
PROPOSED H.C. PARKING = 8 SPACES
TOTAL PROVIDED = 204+8 = 212 SPACES
6. SITE COVERAGE:
TOTAL SITE: 1,786,759 SF (41.02 AC)
BUILDING: 731,820 SF (16.80 AC)
PAVEMENT: 582,919 SF (13.38 AC)
LANDSCAPE: 472,020 SF (10.84 AC)
BUILDING COVERAGE: 41% < 60.0% MAX
PAVEMENT COVERAGE: 32.6%
LANDSCAPE COVERAGE: 26.4%
PERCENT IMPERVIOUS: 73.6% < 85.0%-90.0% MAX
7. ZONING
LIGHT INDUSTRIAL

ALL OUTSIDE STORAGE MUST BE SCREENED AND SHOWN ON PLANS

TYPICAL DIMENSIONS FOR HEAD-TO-HEAD PARKING SPACES
NOT TO SCALE (PRIVATE ONLY)

PRELIMINARY
NOT FOR CONSTRUCTION
THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.
PLANS PREPARED UNDER THE DIRECT SUPERVISION OF CHET T. LEUGERS, P.E. TEXAS REGISTRATION NO. 122042
DATE: 12/12/2025

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.
WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER
ROCKWALL ECONOMIC DEV. CORP.
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TEXAS 75032
PHONE: (972) 772-0025
CONTACT: SHANNON FOLTZ

ENGINEER/APPLICANT
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031
CONTACT: CHET LEUGERS

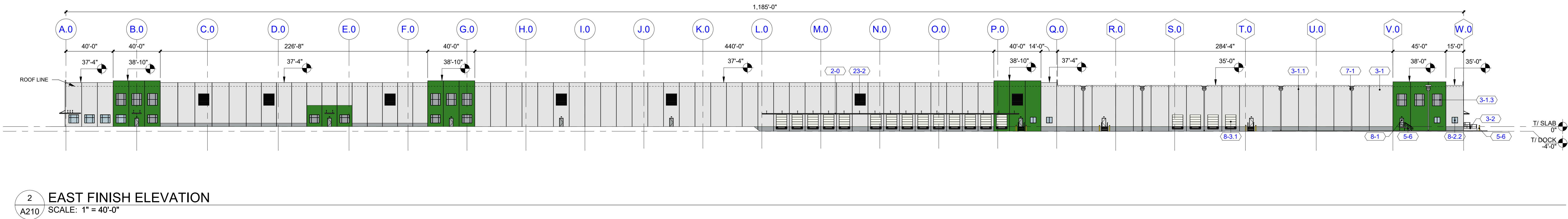
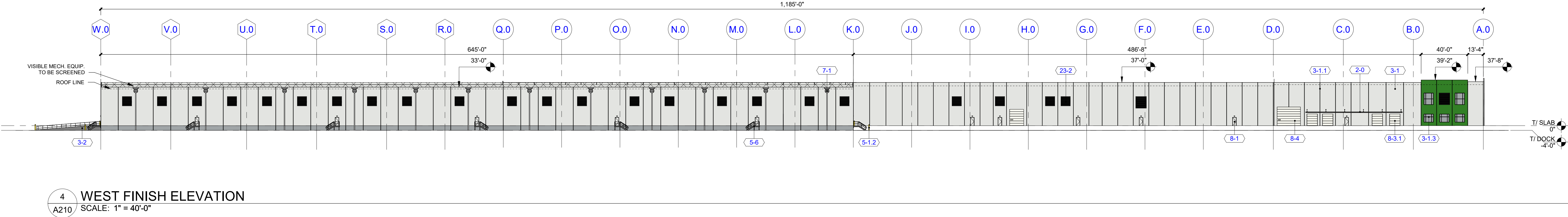
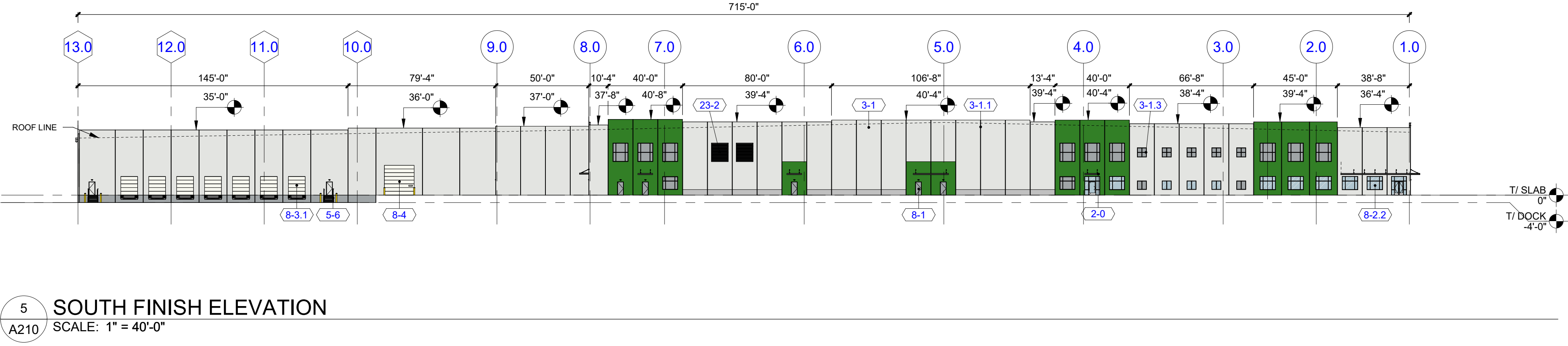
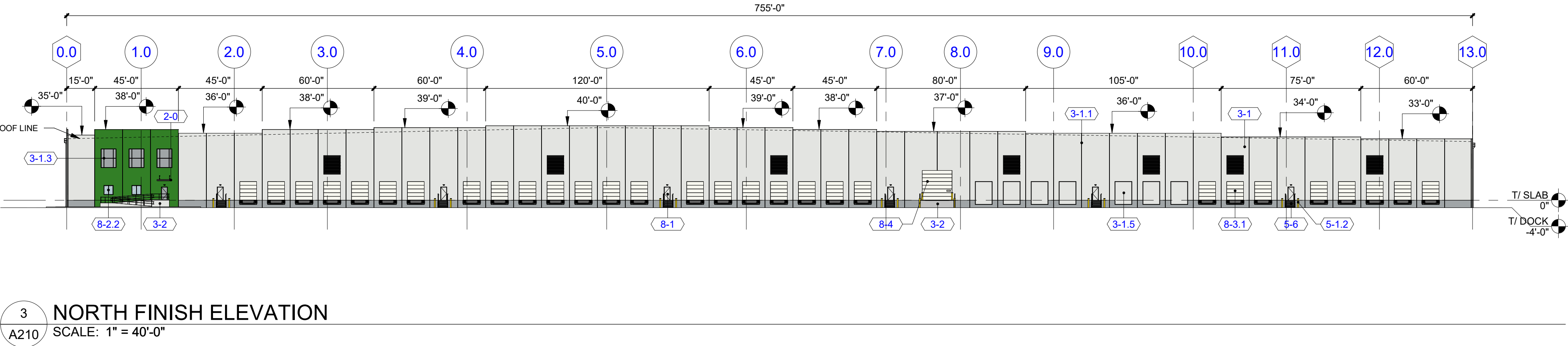
NO.	DATE	REVISION
Westwood		
Westwood Professional Services, Inc.		
7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301		
SITE PLAN		
ROCKWALL MANUFACTURING FACILITY		
3400 DISCOVERY BOULEVARD		
LOT 1, BLOCK A, ROCKWALL		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
CTL	HDR	DEC 2025
SCALE	NOTES	FILE
1"=80'		
		NO.
		SP-1

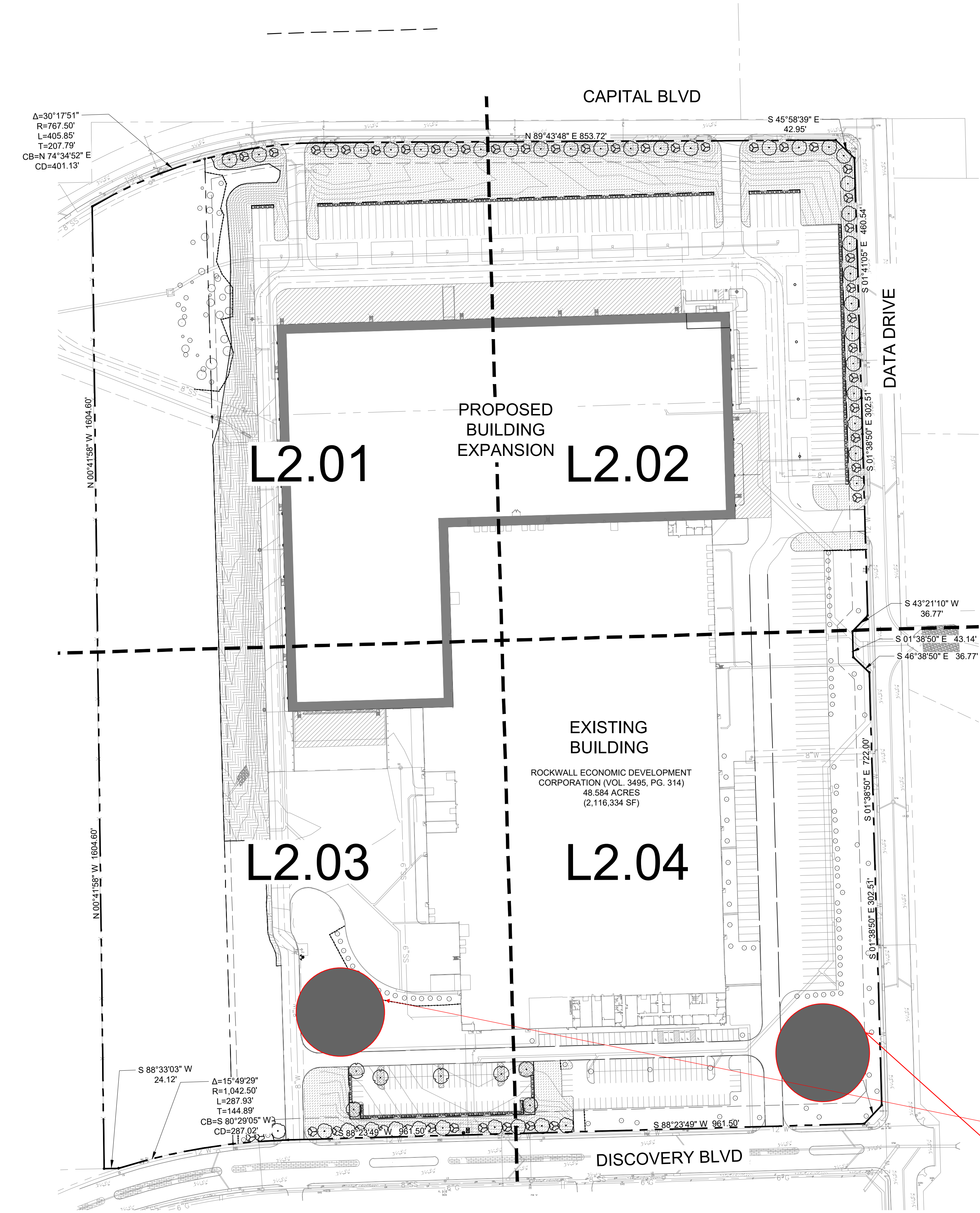
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
2-0	EXISTING CONDITIONS
3-1	TILT-UP CONCRETE WALL PANELS
3-1.1	TILT-UP CONCRETE TYPICAL PANEL JOINT
3-1.3	TILT-UP CONCRETE REVEAL TYPE "B"
3-1.5	TILT-UP CONCRETE 9'-0"W X 12'-2"H KNOCKOUT WITH TYPE "A" REVEALS FOR FUTURE DOCK DOOR
3-2	CONCRETE RAMP
5-1.2	8" DIA. CONCRETE FILLED STEEL PIPE BOLLARD, SEE DETAIL SHEET A502
5-6	GALVANIZED OPEN-METAL GRATE DOCK STAIRS
7-1	PREFINISHED METAL COLLECTOR BOX
7-2	PREFINISHED METAL DOWNSPOUT
7-6	ROOF DECK INCLINE, SEE STRUC.
8-1	EXTERIOR INSULATED HOLLOW METAL MAN DOOR
8-2.2	ALUMINUM STOREFRONT SYSTEM W/ TEMPERED INSULATED GLAZING
8-3.1	OVERHEAD DOCK DOOR W/ DOCK LEVELER KO & PIT
8-4	OVERHEAD DRIVE-IN DOOR
23-2	MECHANICAL LOUVER, SEE MECHANICAL

PAINT LEGEND		PAINT NOTES
<div><div></div><div>A</div></div>	COLOR A SHERWIN WILLIAMS SW 6252 ICE CUBE	EXTERIOR FACE OF TILT: (1) PRIME COAT, (1) TEXTURE COAT, (1) FINISH COAT, SEE ELEVATIONS* INTERIOR FACE OF TILT: (2) COATS, WHITE LATEX PAINT, FLOOR TO 32'-0" A.F.F.* METAL COPING / GRAVEL STOP / GUTTER / DOWNSPOUTS: PAC-CLAD KYNAR FINISH SUBMIT PHYSICAL SAMPLES TO ARCHITECT FOR SELECTION HOLLOW METAL DOORS AND FRAMES: (2) COATS OF ALKYD SEMI-GLOSS, COLOR TO MATCH ADJACENT WALL, TYP. METAL STAIR, LANDING AND HANDRAILS: GALVANIZED, PAINTED TO MATCH COLOR C METAL RAMP GUARDRAIL: GALVANIZED, PAINTED TO MATCH COLOR C STEEL BOLLARDS: EXTERIOR: GALVANIZED, PAINTED SAFETY YELLOW INTERIOR: PAINTED SAFETY YELLOW METAL DOWNSPOUT GUARD: GALVANIZED, PAINTED TO MATCH COLOR C METAL LOUVERS: MILL FINISH ALUMINUM METAL ROOF ACCESS LADDER: GALVANIZED, PAINTED TO MATCH COLOR C METAL DOCK ANGLE: COLOR TO MATCH COLOR B, INDUSTRIAL ENAMEL STOREFRONT SEALANT: TO MATCH STOREFRONT SILICONE SEALANT: - TILT / TILT - (BASF - LIMESTONE) - TILT / UNSTAINED CONCRETE - (BASF - LIMESTONE) ROOF DECKING: FACTORY PAINTED, WHITE *ALL WALLS SHALL BE PREPARED AND PAINTED PER MANUFACTURER'S RECOMMENDATIONS.
<div><div></div><div>B</div></div>	COLOR B SHERWIN WILLIAMS SW 7073 NETWORK GRAY	
<div><div></div><div>C</div></div>	COLOR C SHERWIN WILLIAMS PRATT GREEN	
NOTE: COLORS TO BE APPROVED BY OWNER / ARCHITECT PRIOR TO CONSTRUCTION GC TO PAINT A SINGLE TILT PANEL ON SITE FOR OWNER APPROVAL BEFORE PROCEEDING WITH PAINTING ENTIRE BUILDING		

REVEAL PAINT SCHEMES	
<div><div></div><div>LIGHTER COLOR</div></div>	<div><div></div><div>DARKER COLOR</div></div>
<div><div></div><div>DARKER COLOR</div></div>	<div><div></div><div>LIGHTER COLOR</div></div>

ALL MECHANICAL
EQUIPMENT SHALL BE
SCREENED WITH PARAPETS
OR BY LUVERS.





PLANTING GENERAL NOTES

- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES.

NOTE:
IRRIGATION SYSTEM TO BE AUTOMATIC PER CITY OF ROCKWALL STANDARDS. ALL TREES TO RECEIVE 2 TREE BUBBLERS.

PROPOSED USE: INDUSTRIAL FACILITY
ZONING: LIGHT INDUSTRIAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____ 2025.

WITNESS OUR HANDS, this ____ day of ____ 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER
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7557 RAMBLER ROAD SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031
CONTACT: CHET LEUGERS

ALL OUTSIDE
STORAGE MUST BE
SCREENED AND
SHOWN ON PLANS

PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	QB	QUERCUS BUCKLEYI 'TEXANA' / BUCKLEY OAK	B & B	38	SINGLE, STRAIGHT LEADER, MATCHING
	UP	ULMUS PARVIFOLIA / CHINESE ELM	4" CAL.	40	SINGLE, STRAIGHT LEADER, MATCHING
ORNAMENTAL TREES					
	CT	CERCIS CANADENSIS 'TEXENSIS' / EASTERN REDBUD	2" CAL.	27	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
	ILD	ILEX DECIDUA / POSSUMHAW HOLLY	2" CAL.	24	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
SHRUBS					
	IN	ILEX VOMITORIA 'NANA' / DWARF YAUAPON	5 GAL	116	FULL, MATCHING
	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
SOD/SEED					
	CD2	CYNODON DACTYLON / BERMUDA GRASS	SEED	68,229 SF	100% WEED, PEST AND DISEASE FREE
	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

THE ENTIRE SITE IS
SUBJECT TO THE
LANDSCAPE
REQUIREMENTS OF THE
UDC.

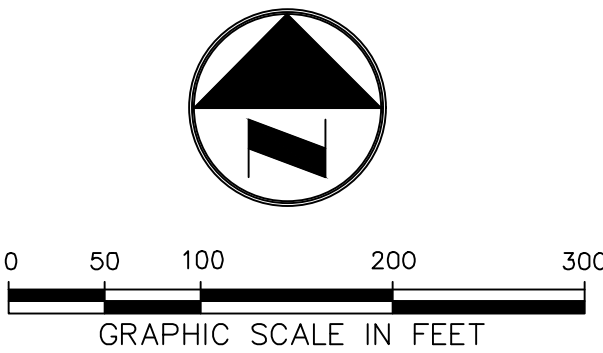
LANDSCAPE REQUIREMENTS - CITY OF ROCKWALL

PROJECT: PRATT INDUSTRIES			
ZONING: LIGHT INDUSTRIAL			
TOTAL LOT AREA: 48.5 ACRES (2,116,334 SF), 15% MIN. LANDSCAPE IN FRONT YARD			
STREET TREES: 1 PER 50 L.F. OF STREET FRONTAGE			
CAPITAL BLVD (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	793 / 50 = 16 CANOPY TREES & 16 ACCENT TREES	32 TREES	37 TREES
DATA DRIVE (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	585 / 50 = 12 CANOPY TREES & 12 ACCENT TREES	24 TREES	24 TREES
DISCOVERY BLVD (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	758 / 50 = 15 CANOPY TREES & 15 ACCENT TREES	30 TREES	30 TREES
PARKING LOT TREES - 1 TREE PER 80 FEET			
204 SPACES, NO TREE MORE THAN 80 FEET FROM PARKING SPACE		7 TREES	7 TREES
MINIMUM LANDSCAPE REQUIREMENT		REQUIRED	PROVIDED
15% OF THE SITE MUST BE LANDSCAPED		2,116,334 SF * .15 = 317,451 SF	317,451 SF

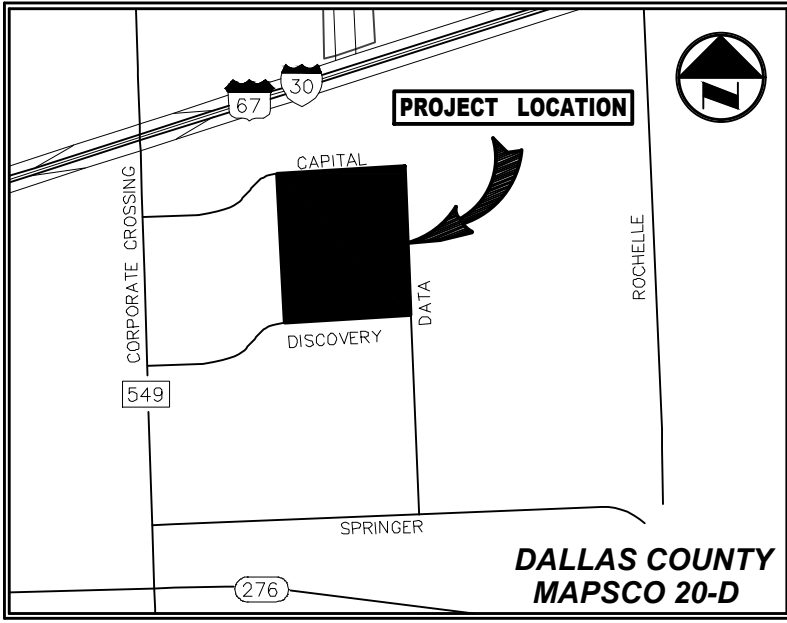
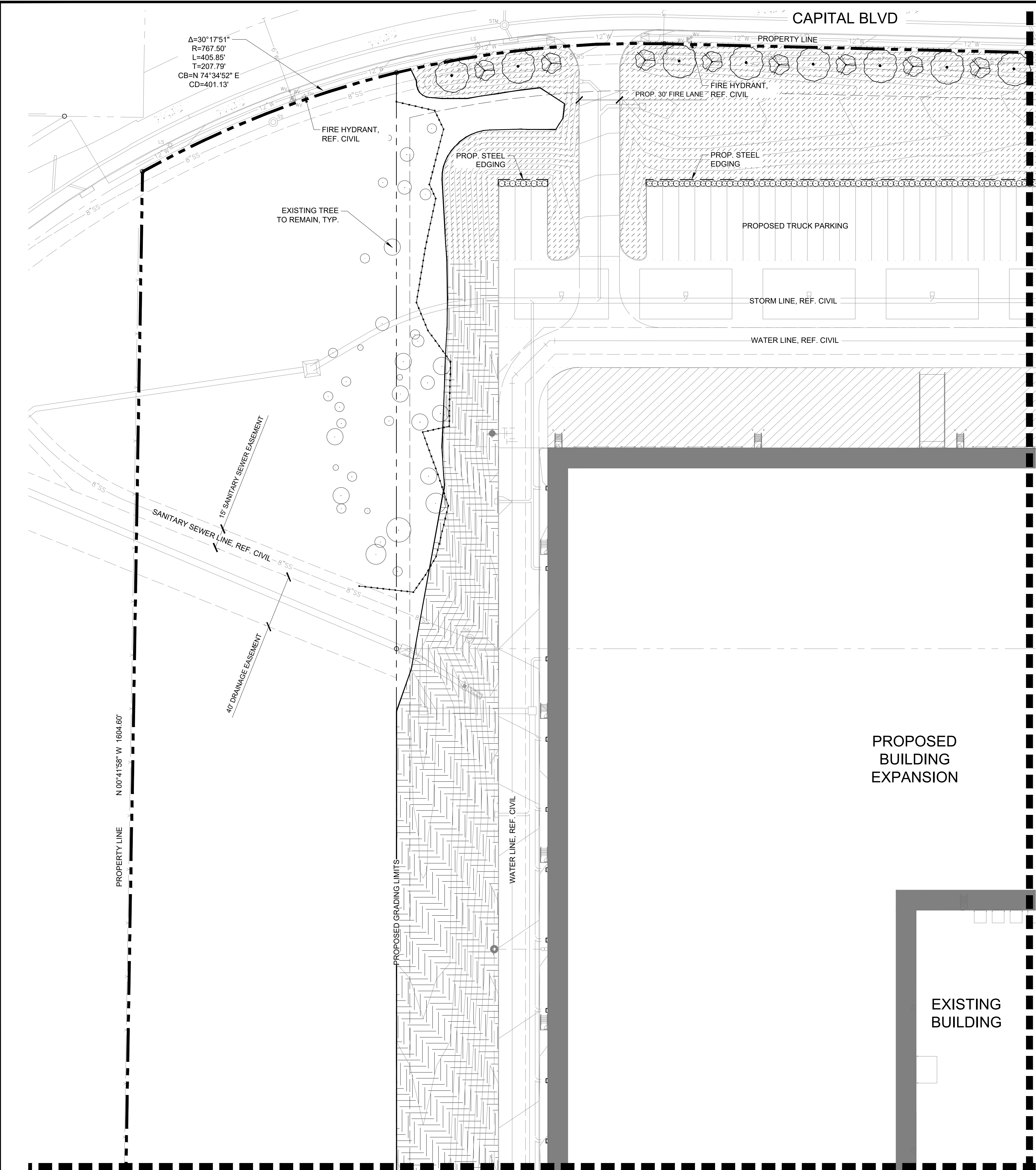
INTERIM REVIEW

THESE DOCUMENTS ARE INTENDED FOR
INTERIM REVIEW ONLY AND NOT FOR
REGULATORY APPROVAL/PERMITTING, OR
CONSTRUCTION.

REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JAMISON
TEXAS REGISTRATION NUMBER 2915



NO.	DATE	REVISION
Westwood Westwood Professional Services, Inc. 7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301		
OVERALL LANDSCAPE PLAN		
ROCKWALL MANUFACTURING FACILITY		
PROJECT ADDRESS		
LOT 1, BLOCK A, ROCKWALL		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
JBJ	EJK	DEC 2025
SCALE	NOTES	FILE
NO.	L2.00	



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

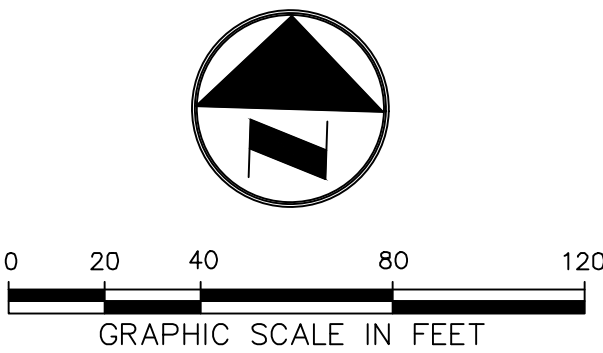
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	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

MATCHLINE, SEE SHEET L2.02

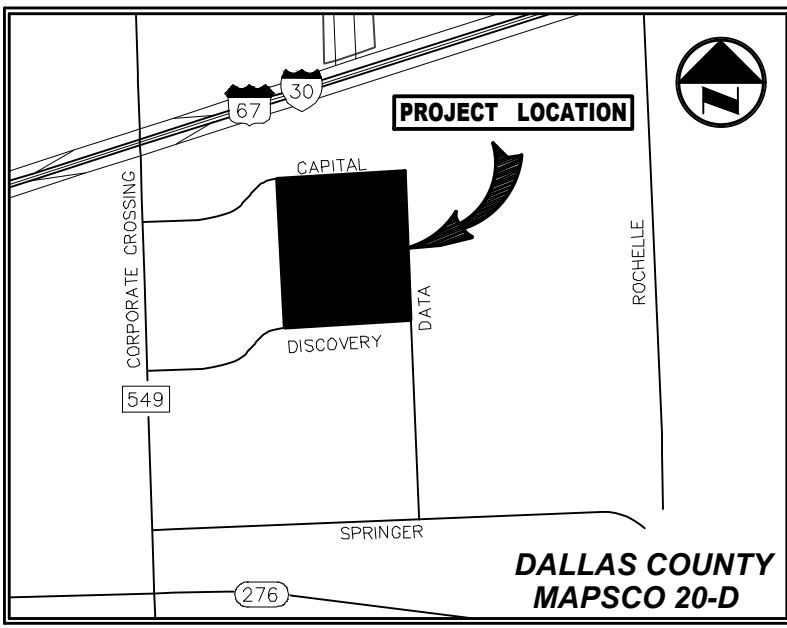
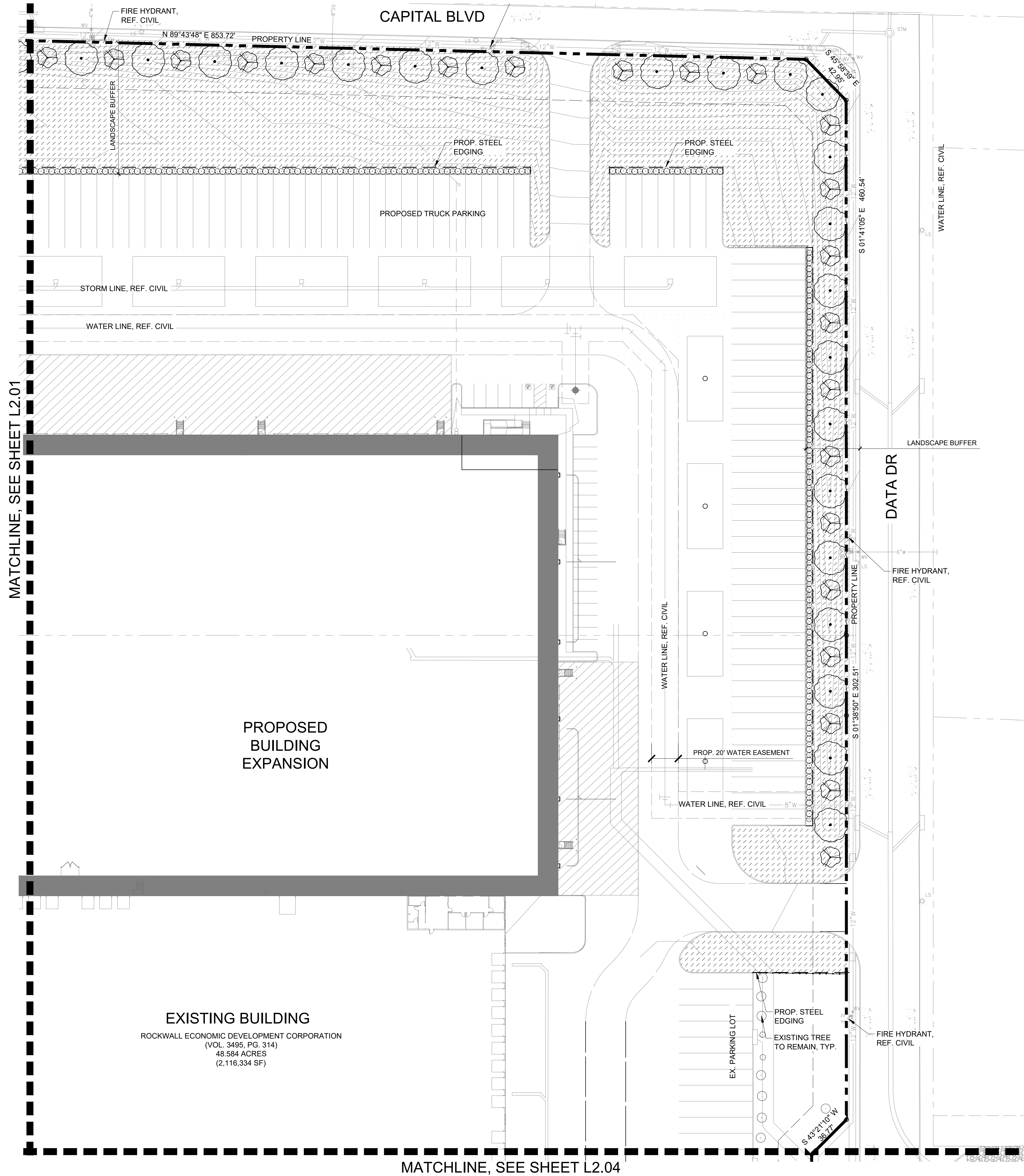
PROPOSED
BUILDING
EXPANSION

EXISTING
BUILDING

MATCHLINE, SEE SHEET L2.03



INTERIM REVIEW
THESE DOCUMENTS ARE INTENDED FOR
INTERIM REVIEW ONLY AND NOT FOR
REGULATORY APPROVAL/PERMITTING, OR
CONSTRUCTION.
REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

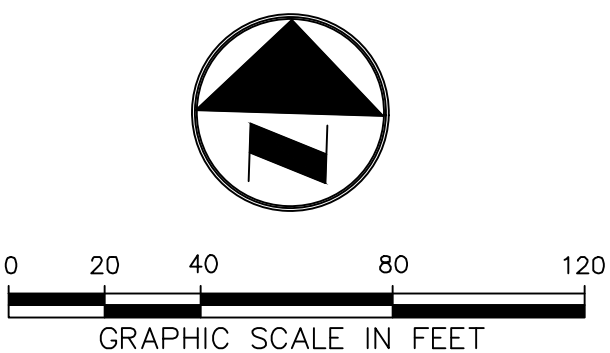


VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

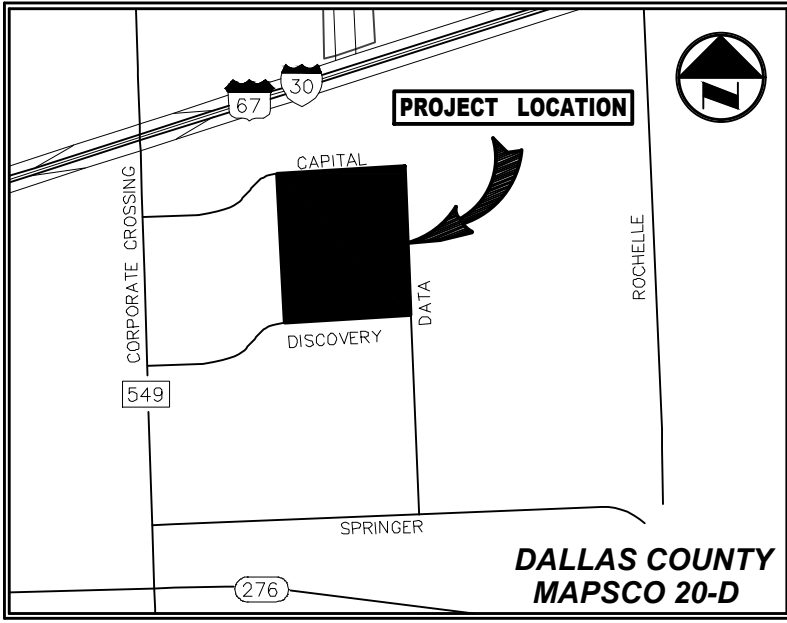
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	QB	QUERCUS BUCKLEYI 'TEXANA' / BUCKLEY OAK	B & B	38	SINGLE, STRAIGHT LEADER, MATCHING
	UP	ULMUS PARVIFOLIA / CHINESE ELM	4" CAL.	40	SINGLE, STRAIGHT LEADER, MATCHING
ORNAMENTAL TREES					
	CT	CERCIS CANADENSIS 'TEXENSIS' / EASTERN REDBUD	2" CAL.	27	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
	ILD	ILEX DECIDUA / POSSUMHAW HOLLY	2" CAL.	24	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
SHRUBS					
	IN	ILEX VOMITORIA 'NANA' / DWARF YAUPON	5 GAL	116	FULL, MATCHING
	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
SOD/SEED					
	CD2	CYNODON DACTYLON / BERMUDA GRASS	SEED	68,229 SF	100% WEED, PEST AND DISEASE FREE
	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

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TEXAS REGISTRATION NUMBER 2915



			</			

MATCHLINE, SEE SHEET L2.01

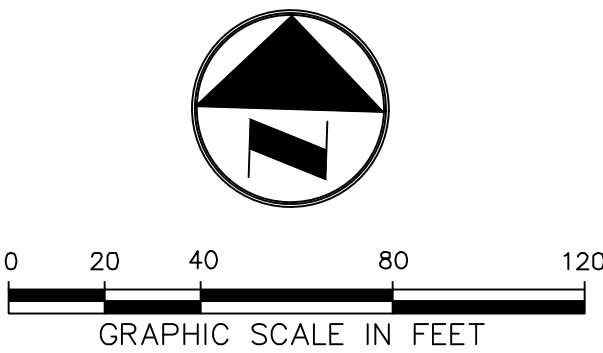


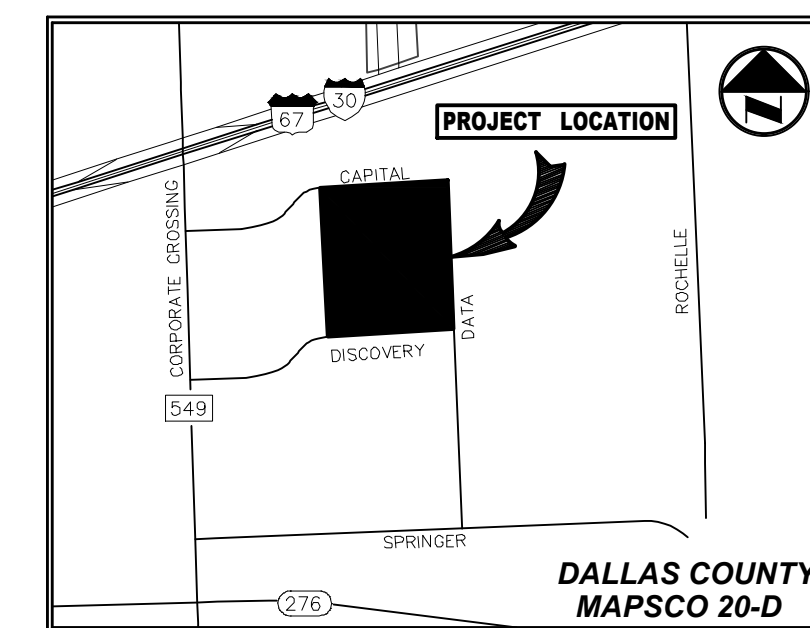
VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

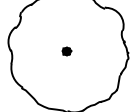
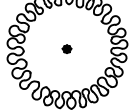
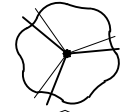
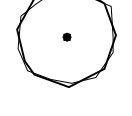
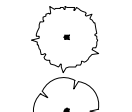


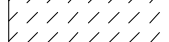
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JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915





PLANT SCHEDULE

SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY B. JOHNSTON
TEXAS REGISTRATION NUMBER 2915

NO.	DATE	REVISION
<div style="text-align: right; padding-right: 50px;">Westwood</div>		
7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T:972.235.3031		
TBPLS ENGINEERING FIRM NO. 11756		
TBPLS SURVEYING FIRM NO. 10074301		
Westwood Professional Services, Inc.		westwoodgs.com

LANDSCAPE PLAN

ROCKWALL MANUFACTURING FACILITY

PROJECT ADDRESS

LOT 1, BLOCK A, ROCKWALL

CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS

DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JBJ	EJK	DEC 2025				L2.04




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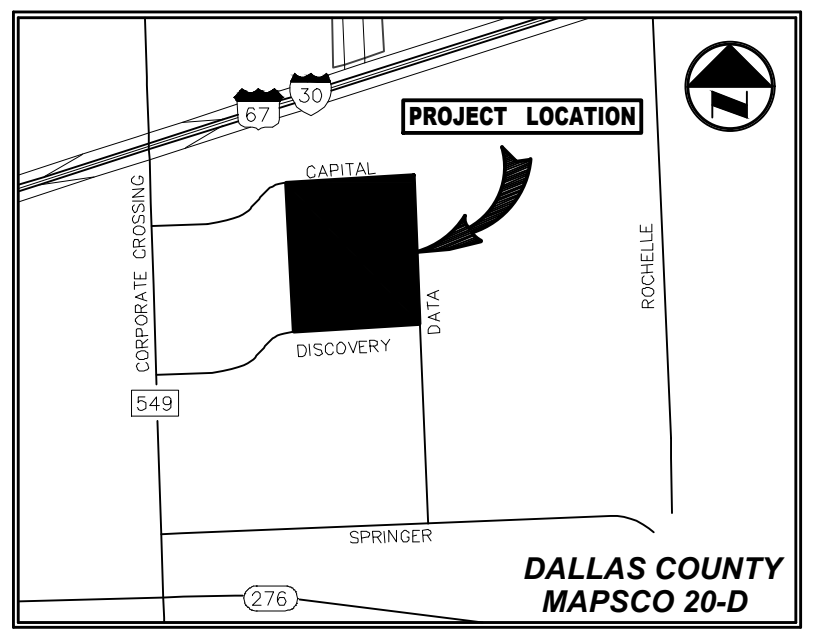
CASE NUMBER: XXXX-XXXX

PROPOSED
BUILDING
EXPANSION

MATCHLINE, SEE SHEET L1.04

TREE PRESERVATION LEGEND

	TREE TO REMAIN
	TREE TO BE REMOVED
	TREE PROTECTION FENCE



VICINITY MAP
(NOT TO SCALE)

PROPERTY LINE N 00°41'58" W 1604.60'

WATER LINE, REF. CIVIL

PROP. 20' WATER EASEMENT

PROP. PARKING LOT

WATER LINE, REF. CIVIL

WATER LINE, REF. CIVIL

—251—

30' FIRE LANE

[illegible]

S 88°23'49" W 961.50

DISCOVERY BLVD

1 TREE PRESERVATION PLAN
1" = 40'-0"

INTERIM REVIEW

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REGISTERED LANDSCAPE ARCHITECT
JEFFREY B. JOHNSTON
TEXAS REGISTRATION NUMBER 2915

REGISTERED LANDSCAPE ARCHITECT
JEFFREY B. JOHNSTON
TEXAS REGISTRATION NUMBER 2915

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WPS FILE: 0068742.00

CASE NUMBER: XXXX-XXXX

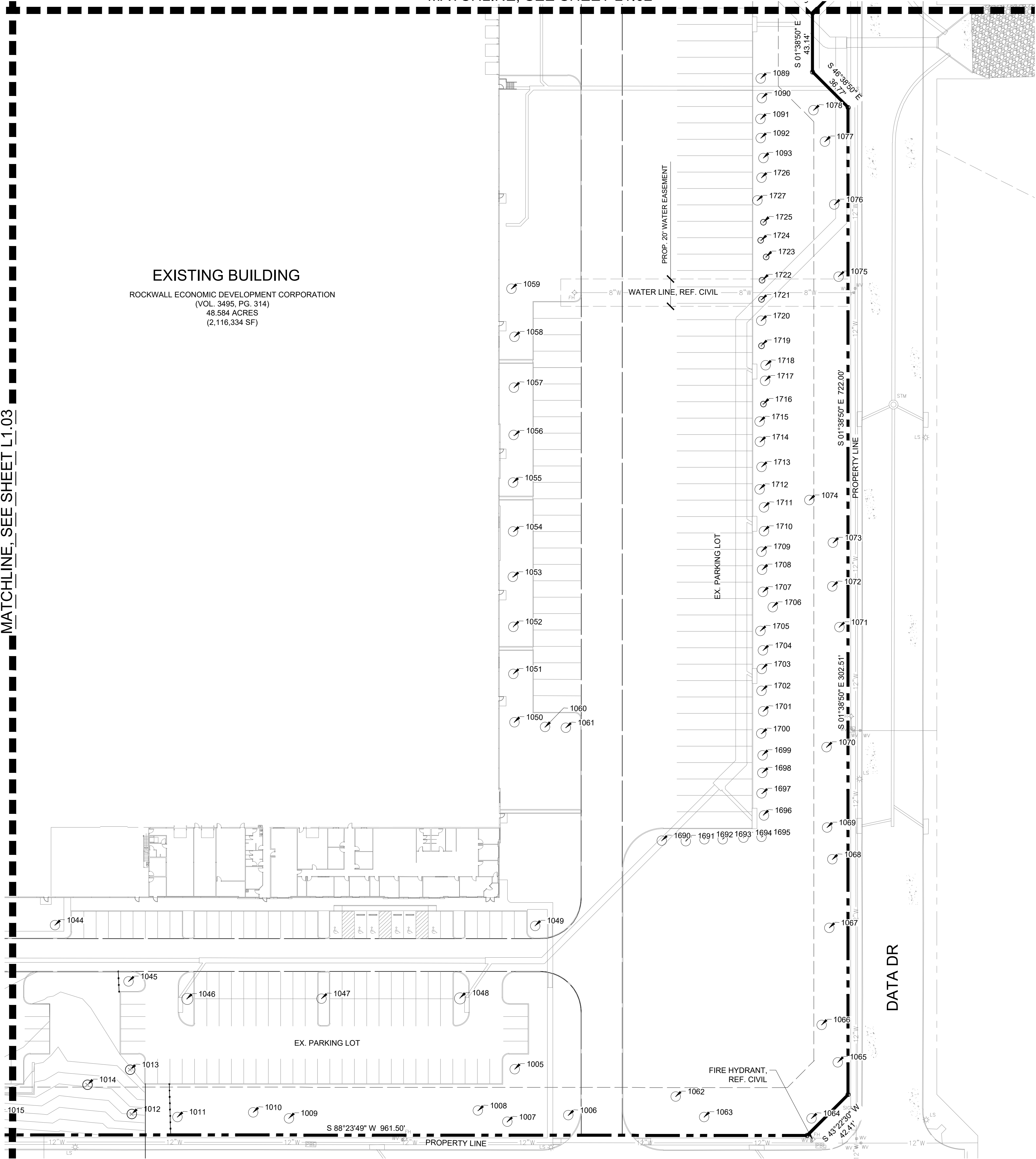
ROCKWALL MANUFACTURING FACILITY

MATCHLINE, SEE SHEET L1.03

MATCHLINE, SEE SHEET L1.02

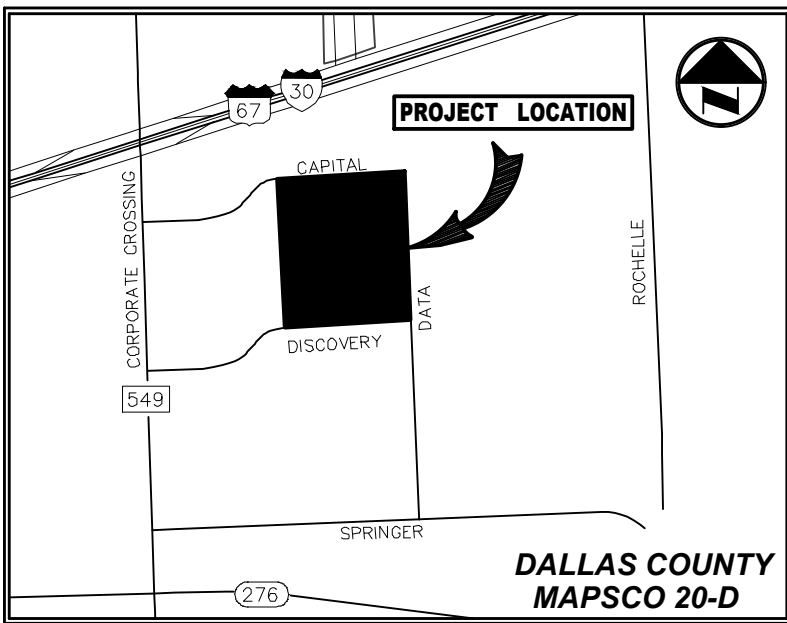
EXISTING BUILDING

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 3495, PG. 314)
48.584 ACRES
(2,116,334 SF)



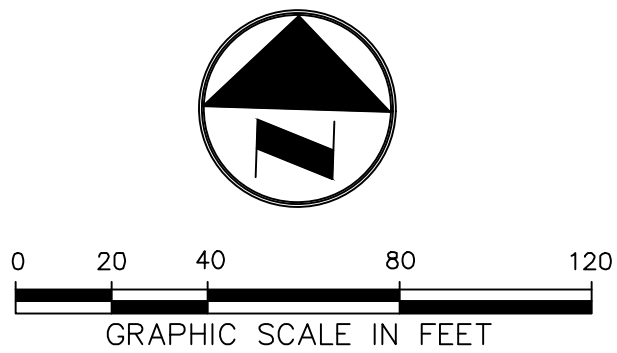
TREE PRESERVATION LEGEND

- TREE TO REMAIN
- TREE TO BE REMOVED
- TREE PROTECTION FENCE



VICINITY MAP
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JEFFREY S. JOHNSON
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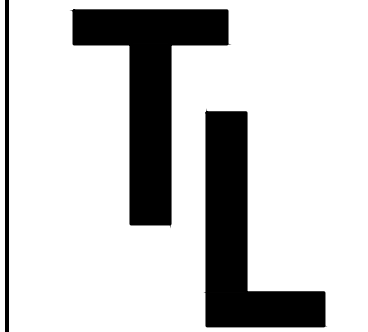




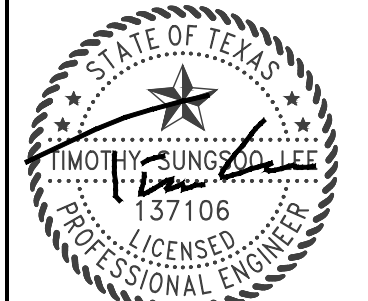
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY B. JOHNSTON
TEXAS REGISTRATION NUMBER 2915

[illegible]



ENGINEERING
505 Vaux Dr
Johns Creek, GA 30097
PH: 678-430-8664
tnlee@teengineering.com
TEXAS FIRM #1-22425 INDIVIDUAL #137106
JOB #T125343



12-04-25

ISSUE / REVISION:

12-04-25 - PERMIT SET

PROJECT NAME:

PRATT ROCKWALL
3400 DISCOVERY BLVD
ROCKWALL, TX
FOR: ARCO
ATLANTA, GA

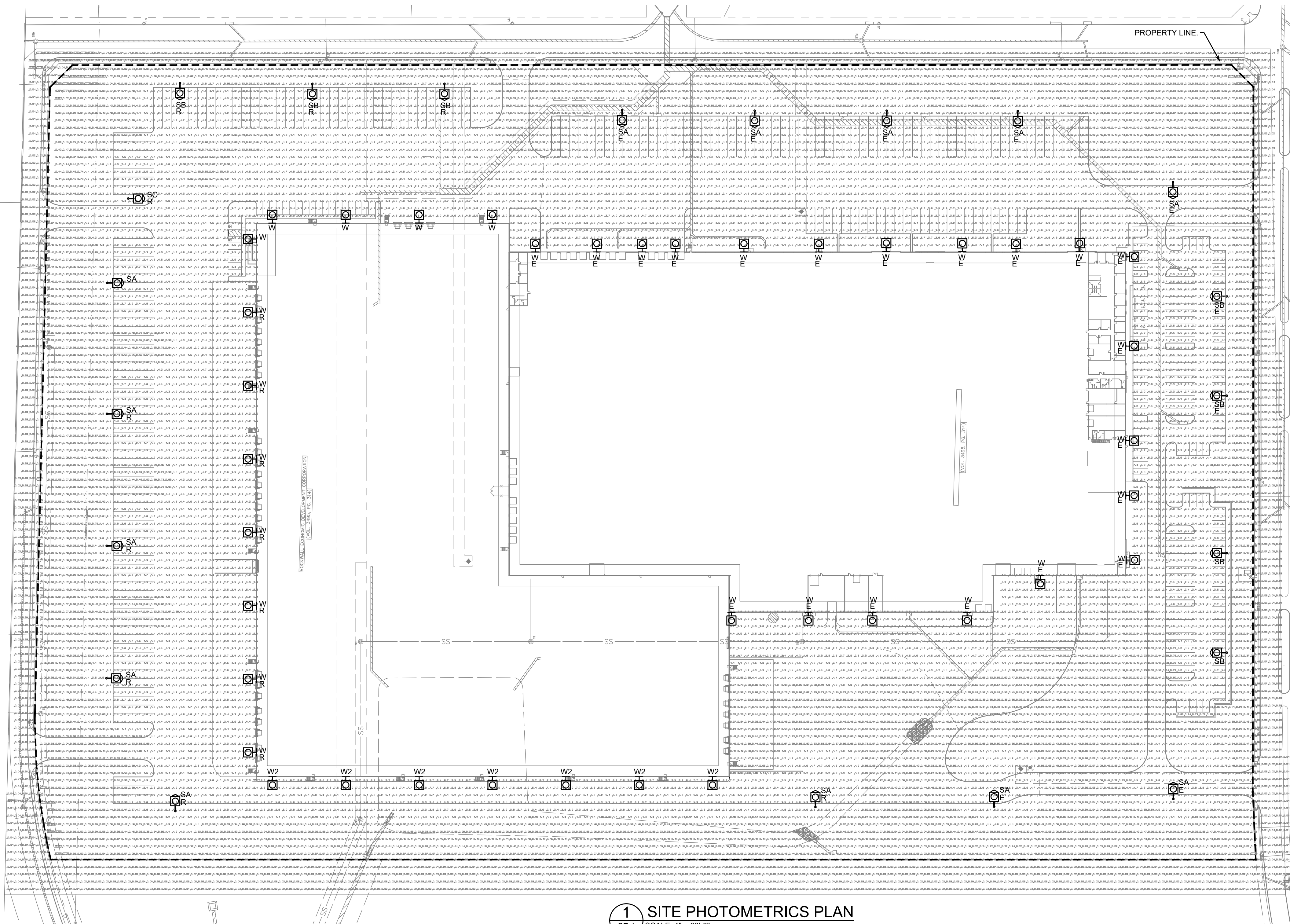
SHEET TITLE:

SITE PHOTOMETRICS
PLAN

SHEET NUMBER:

CE-1

OF 2 SHEETS.
SHEET SIZE: 24x36



1 SITE PHOTOMETRICS PLAN
CE-1 SCALE: 1" = 80'-0"

SITE DATA SUMMARY TABLE

- PROPOSED USE:
INDUSTRIAL FACILITY
- GROSS BUILDING AREA:
INDUSTRIAL BUILDING: 732,000 SF
NUMBER OF STORIES: 1
- BUILDING HEIGHT:
MAX BUILDING HEIGHT=40'-4"
- PARKING REQUIRED:
PARKING RATIO = 1 SPACE PER 1,000 SF OF BUILDING
TOTAL REQUIRED = 732 SPACES
- PARKING PROVIDED:
PROPOSED REGULAR PARKING = 204 SPACES
PROPOSED H.C. PARKING = 8 SPACES
TOTAL PROVIDED = 204+8 = 212 SPACES
- SITE COVERAGE:
TOTAL SITE: 1,786,759 SF (41.02 AC)
BUILDING: 731,820 SF (16.80 AC)
PAVEMENT: 582,919 SF (13.38 AC)
LANDSCAPE: 472,020 SF (10.84 AC)
BUILDING COVERAGE: 41% < 60.0% MAX
PAVEMENT COVERAGE: 32.6%
LANDSCAPE COVERAGE: 26.4%
PERCENT IMPERVIOUS: 73.6% < 85.0%-90.0% MAX
- ZONING:
LIGHT INDUSTRIAL

LIGHT FIXTURE SCHEDULE

DESIGNATION	DESCRIPTION	LAMPING	WATTS/VOLTS
SA	EXTERIOR POLE LIGHT FIXTURE, T4 FORWARD THROW, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U T4FT BZ MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
SB	EXTERIOR POLE LIGHT FIXTURE, T4 SPILL CONTROL WITH HOUSE SHIELD, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U SL4 BZ HSS MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
SC	EXTERIOR POLE LIGHT FIXTURE, T5 SQUARE, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U 5M Q BZ MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
W	EXTERIOR WALL MOUNT, 28'AFG, T4 FORWARD THROW MCGRAW-EDISON #GLEON SA6 C 740 U T4FT BZ WM MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
W2	EXTERIOR WALL MOUNT, 28'AFG, T2 MCGRAW-EDISON #GLEON SA6 C 740 U T2 BZ WM MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V

- NOTES:
- COORDINATE COLOR, FINISH, TRIM, AND OTHER AESTHETICS WITH ARCHITECTURAL DRAWINGS OR OWNER.
 - PROVIDE ALL NECESSARY OPTIONS/MOUNTS/ACCESSORIES FOR THE APPROPRIATE CEILING TYPES FOR COMPLETE INSTALLATION.
 - LIGHT FIXTURES CONTROLLED BY A DIMMER SHALL BE COORDINATED TO MATCH DIMMING TYPES. PROVIDE ADDITIONAL DIMMERS AND SPLIT SWITCHING IF DIMMING TECHNOLOGY DIFFERS.
 - LIGHT FIXTURES IN LOCATIONS UNDERGROUND, SUBJECT TO WATER, OR EXPOSED TO WEATHER SHALL BE WET LOCATION LISTED. LIGHT FIXTURES IN LOCATIONS SUBJECT TO MODERATE DEGREES OF MOISTURE SHALL BE DAMP LOCATION LISTED.
 - ALL EXIT AND EMERGENCY LIGHTING SHALL HAVE A MINIMUM 90 MINUTE BATTERY PACK.

PHOTOMETRICS NOTES

- THE PHOTOMETRIC VALUES SHOWN ON THIS PLAN HAVE BEEN CALCULATED USING Dialux evo 9.1 (VERSION 5.9.1.51180). ACTUAL PERFORMANCE OF LUMINAIRES MAY DIFFER DUE TO VARIATIONS OF VOLTAGE, TOLERANCES IN LAMPS, ELEVATION CHANGES, TREES, OBSTRUCTIONS, AND OTHER FIELD CONDITIONS.
- DUE TO LIMITED AVAILABILITY OF .IES FILES FROM MOST LIGHTING MANUFACTURERS, THE LUMINAIRE MODEL NUMBER(S) USED FOR PHOTOMETRIC CALCULATIONS MAY DIFFER FROM ACTUAL MODEL NUMBERS. SEE LIGHT FIXTURE SCHEDULE FOR ACTUAL MODEL NUMBERS.

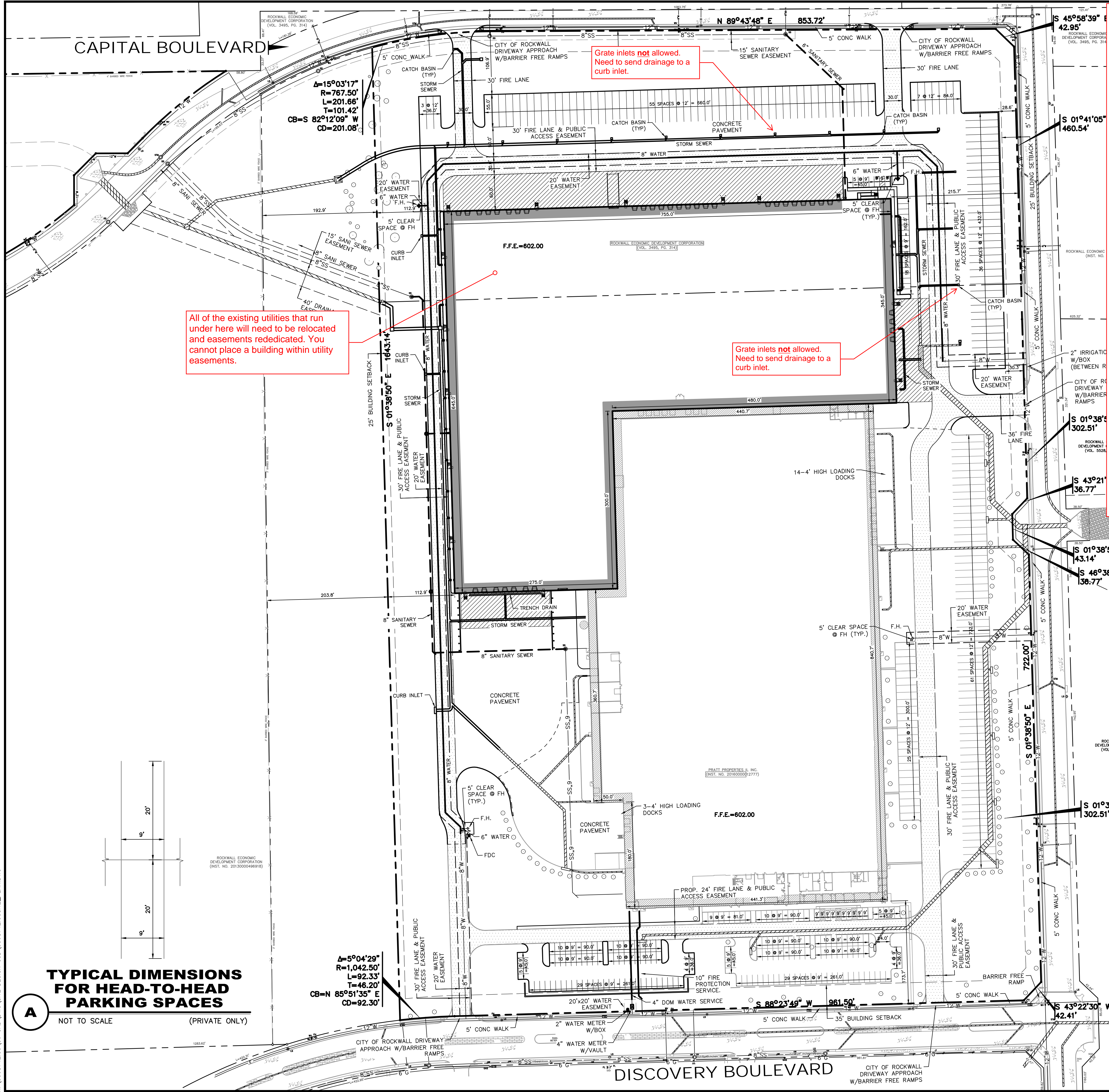
ELECTRICAL ABBREVIATIONS

AF	ABOVE FINISHED FLOOR TO TOP OF DEVICE
AFG	ABOVE FINISHED GRADE TO TOP OF DEVICE
E	EXISTING DEVICE
R	RELOCATED DEVICE

Luminaire list (Site 1)								
Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load	
W,SA	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	GLEON-SA6C-740-U-T4FT	96x	42558 lm	0.92	333 W	
SB	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	GLEON-SA6C-740-U-SL4-HSS	96x	34333 lm	0.92	333 W	
W2	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II OPTICS	GLEON-SA6C-740-U-T2	96x	41518 lm	0.92	333 W	
SC	COOPER LIGHTING SOLUTIONS - McGRAW-EDISON (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS	GLEON-SA6C-740-U-5MQ	96x	44444 lm	0.92	333 W	

#	Name	Parameter	Min	Max	Average	Min/average	Min/max
1	ON PROPERTY	Perpendicular Illuminance	0.006 fc	10.4 fc	1.84 fc	0.003	0.001
2	OFF PROPERTY	Perpendicular Illuminance	0.004 fc	0.19 fc	0.044 fc	0.080	0.018

C:\BARRANAGATOR\12/11/2025 5:28 PM N:\0068742\00\06 CAD\DWG\SITE DESIGN C3D\0068742\00SITE_PLANDWG



- General Items:**
- Must meet City's 2023 Standards of Design and Construction Manual
 - 4% Engineering Inspection Fees
 - Impact Fees (Water, Sewer & Roadway)
 - Minimum easement width is 20' for new easements. No structures including walls allowed in easements.
 - Retaining walls (if needed) 3' and over must be engineered.
 - Retaining walls (if needed) 18" or taller must be rock, stone, or stone face. No smooth concrete walls.
 - No signage is allowed within easements or ROW. No structures or fences with easements.
 - Tree mitigation will be required for the removal of any existing trees on site.
 - Show commercial dumpster locations on the site plan. Dumpsters may not directly face a roadway.
 - No structures including walls and overhangs allowed in easements
 - Additional comments may be provided at time of Site Plan and Engineering.
- Roadway Paving Items:**
- All parking, storage, drive aisles must be reinforced concrete. No rock, gravel, or asphalt allowed in any area.
 - All Parking to be 20'x9' minimum.
 - No dead-end parking allowed without a City approved turnaround area.
 - All drive isles to be 24' wide.
 - Fire lane (if needed) to have 20' min radius if buildings are less than 30' tall. If any of the buildings are 30' or more, the fire lane will be 30' radius minimum.
 - Fire lane (if needed) to be in a platted easement.
 - City driveway spacing requirements must bet met if adding driveways.
- Water and Wastewater Items:**
- Site plan must show existing/proposed utility lines (Water, Sewer, etc.)
 - Any public water lines must be a minimum of 8", looped, and must be in a 20' wide easement.
 - Only one "use" off a dead-end line (domestic, irrigation, fire sprinkler, fire hydrant, etc.)
 - All commercial sewer connections must be made by a proposed or existing manhole.
 - Min 20' utility easements. No structures allowed in easements
 - Water to be 10' separated from storm and sewer lines.
 - All public utilities must be centered in an easement.
 - Any utility crossings under a roadway must be by dry bore and be steel encased. Open cutting is not allowed.
 - If removing or relocating any Industrial Discharge sample site, you must get with NTMWD to re-establish a new/relocated sample site.
 - \$2,773.07/acre sewer pro-rata and \$379.24/acre lift station & force main pro-rata
- Drainage Items:**
- Existing flow patterns must be maintained.
 - Must verify that detention has been provided for the new area and the detention that is being removed.
 - The property owner will be responsible for maintaining, repair, and replacement of the drainage systems.
 - No grate inlets allowed.
 - FFE for all buildings must be called out when adjacent to a detention area. Minimum 2' above 100-year WSEL.
 - Dumpster areas shall drain to an oil/water separator and then into the storm drainage system.
- Landscaping:**
- No trees to be with 10' of any public water, sewer or storm line that is 10" in diameter or larger.
 - No trees to be with 5' of any public water, sewer, or storm line that is less than 10".
 - No landscape berms or tree plantings shall be located on top of City utilities or within easements.

INDUSTRIAL FACILITY	
2. GROSS BUILDING AREA:	
INDUSTRIAL BUILDING: 732,000 SF	
NUMBER OF STORIES: 1	
3. BUILDING HEIGHT:	
MAX BUILDING HEIGHT=40'-4"	
4. PARKING REQUIRED:	
PARKING RATIO = 1 SPACE PER 1,000 SF OF BUILDING	
TOTAL REQUIRED = 732 SPACES	
5. PARKING PROVIDED:	
PROPOSED REGULAR PARKING = 204 SPACES	
PROPOSED H.C. PARKING = 8 SPACES	
TOTAL PROVIDED = 204+8 = 212 SPACES	
6. SITE COVERAGE:	
TOTAL SITE:	1,786,759 SF (41.02 AC)
BUILDING:	731,820 SF (16.80 AC)
PAVEMENT:	582,919 SF (13.38 AC)
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PERCENT IMPERVIOUS:	73.6% < 85.0%-90.0% MAX
7. ZONING	
LIGHT INDUSTRIAL	



PRELIMINARY
NOT FOR CONSTRUCTION

THIS DOCUMENT IS ISSUED FOR THE PURPOSE OF SCHEMATIC REVIEW ONLY AND IS NOT INTENDED FOR PERMITTING, BIDDING, OR CONSTRUCTION PURPOSES.

PLANS PREPARED UNDER THE DIRECT SUPERVISION OF CHET T. LEUGERS, P.E.
TEXAS REGISTRATION NO. 122042
DATE: 12/12/2025

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____, 2025.

WITNESS OUR HANDS, this ____ day of ____, 2025.

Planning & Zoning Commission, Chairman

Director of Planning and Zoning

OWNER
ROCKWALL ECONOMIC DEV. CORP.
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TEXAS 75082
PHONE: (972) 772-0025
CONTACT: SHANNON FOLTZ

ENGINEER/APPLICANT
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031
CONTACT: CHET LEUGERS



DEVELOPMENT APPLICATION

City of Rockwall
Planning and Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087

STAFF USE ONLY

PLANNING & ZONING CASE NO. _____

NOTE: THE APPLICATION IS NOT CONSIDERED ACCEPTED BY THE CITY UNTIL THE PLANNING DIRECTOR AND CITY ENGINEER HAVE SIGNED BELOW.

DIRECTOR OF PLANNING: _____

CITY ENGINEER: _____

PLEASE CHECK THE APPROPRIATE BOX BELOW TO INDICATE THE TYPE OF DEVELOPMENT REQUEST [SELECT ONLY ONE BOX]:

PLATTING APPLICATION FEES:

- ☐ MASTER PLAT (\$100.00 + \$15.00 ACRE) ¹
- ☐ PRELIMINARY PLAT (\$200.00 + \$15.00 ACRE) ¹
- ☐ FINAL PLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ REPLAT (\$300.00 + \$20.00 ACRE) ¹
- ☐ AMENDING OR MINOR PLAT (\$150.00)
- ☐ PLAT REINSTATEMENT REQUEST (\$100.00)

SITE PLAN APPLICATION FEES:

- ☒ SITE PLAN (\$250.00 + \$20.00 ACRE) ¹
- ☐ AMENDED SITE PLAN/ELEVATIONS/LANDSCAPING PLAN (\$100.00)

ZONING APPLICATION FEES:

- ☐ ZONING CHANGE (\$200.00 + \$15.00 ACRE) ¹
- ☐ SPECIFIC USE PERMIT (\$200.00 + \$15.00 ACRE) ^{1 & 2}
- ☐ PD DEVELOPMENT PLANS (\$200.00 + \$15.00 ACRE) ¹

OTHER APPLICATION FEES:

- ☐ TREE REMOVAL (\$75.00)
- ☐ VARIANCE REQUEST/SPECIAL EXCEPTIONS (\$100.00) ²

NOTES:

¹: IN DETERMINING THE FEE, PLEASE USE THE EXACT ACREAGE WHEN MULTIPLYING BY THE PER ACRE AMOUNT. FOR REQUESTS ON LESS THAN ONE ACRE, ROUND UP TO ONE (1) ACRE.
²: A \$1,000.00 FEE WILL BE ADDED TO THE APPLICATION FEE FOR ANY REQUEST THAT INVOLVES CONSTRUCTION WITHOUT OR NOT IN COMPLIANCE TO AN APPROVED BUILDING PERMIT.

PROPERTY INFORMATION [PLEASE PRINT]

ADDRESS 3400 Discovery Blvd

SUBDIVISION Rockwall Technology Park Phase IV

LOT 1 BLOCK A

GENERAL LOCATION 3400 Discovery Blvd, expanding north to Capitol Drive

ZONING, SITE PLAN AND PLATTING INFORMATION [PLEASE PRINT]

CURRENT ZONING Light Industrial

CURRENT USE Light Industrial/vacant land

PROPOSED ZONING N/A

PROPOSED USE Light Industrial

ACREAGE 41.04

LOTS [CURRENT] 2 (1 unplatted)

LOTS [PROPOSED] 1

☒ **SITE PLANS AND PLATS:** BY CHECKING THIS BOX YOU ACKNOWLEDGE THAT DUE TO THE PASSAGE OF HB3167 THE CITY NO LONGER HAS FLEXIBILITY WITH REGARD TO ITS APPROVAL PROCESS, AND FAILURE TO ADDRESS ANY OF STAFF'S COMMENTS BY THE DATE PROVIDED ON THE DEVELOPMENT CALENDAR WILL RESULT IN THE DENIAL OF YOUR CASE.

OWNER/APPLICANT/AGENT INFORMATION [PLEASE PRINT/CHECK THE PRIMARY CONTACT/ORIGINAL SIGNATURES ARE REQUIRED]

☐ OWNER Rockwall Economic Dev. Corp.

☒ APPLICANT Westwood Professional Services

CONTACT PERSON Shannon Foltz

CONTACT PERSON Chet Leugers

ADDRESS

ADDRESS

CITY, STATE & ZIP

CITY, STATE & ZIP

PHONE

PHONE

E-MAIL

E-MAIL

NOTARY VERIFICATION [REQUIRED]

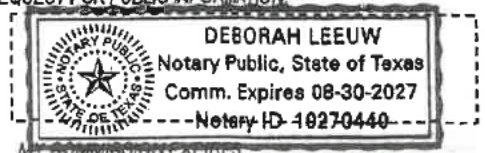
BEFORE ME, THE UNDERSIGNED AUTHORITY, ON THIS DAY PERSONALLY APPEARED Shannon Foltz [OWNER] THE UNDERSIGNED, WHO STATED THE INFORMATION ON THIS APPLICATION TO BE TRUE AND CERTIFIED THE FOLLOWING:

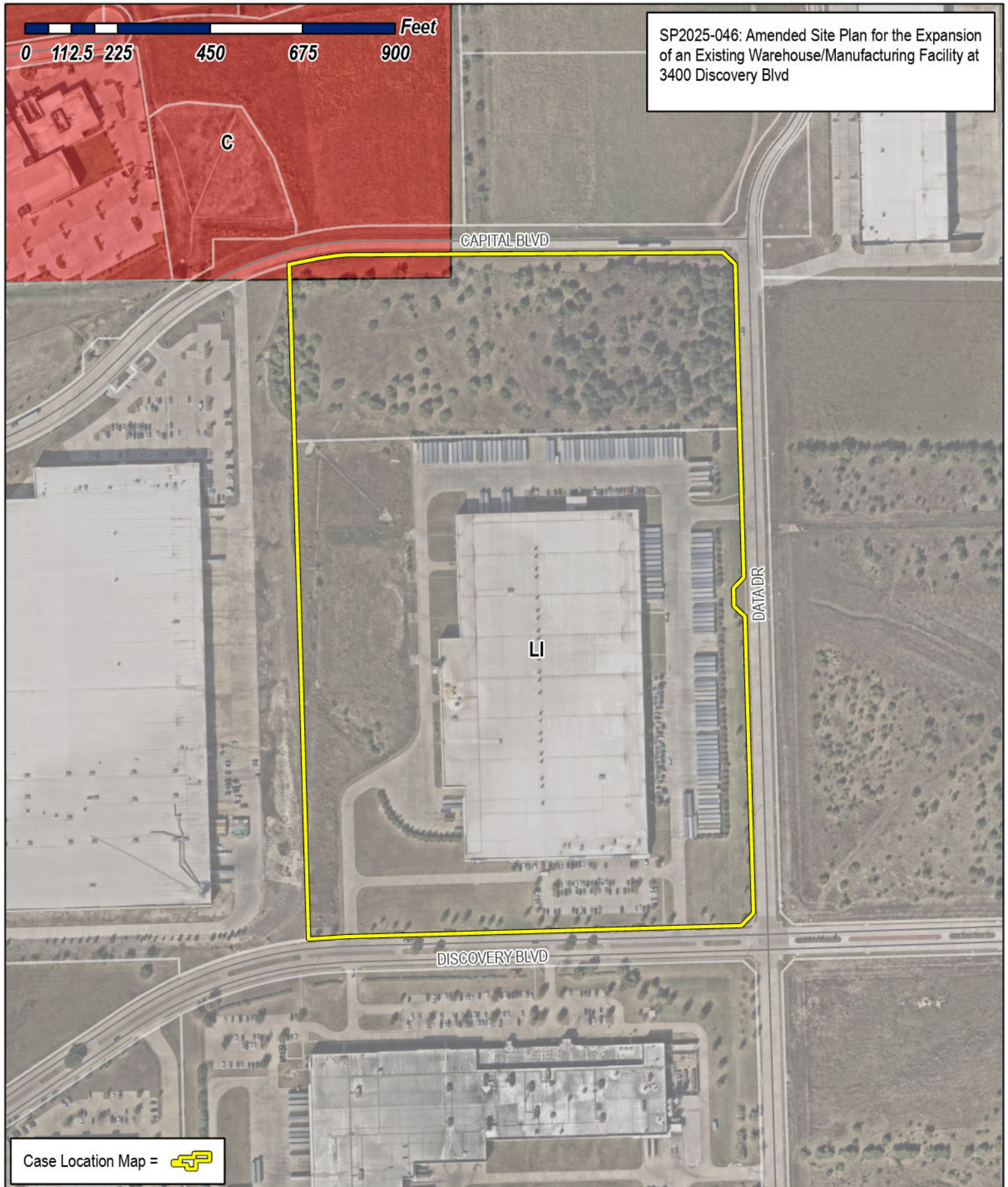
I HEREBY CERTIFY THAT I AM THE OWNER FOR THE PURPOSE OF THIS APPLICATION; ALL INFORMATION SUBMITTED HEREIN IS TRUE AND CORRECT; AND THE APPLICATION FEE OF \$ 1,090.00 TO COVER THE COST OF THIS APPLICATION, HAS BEEN PAID TO THE CITY OF ROCKWALL ON THIS THE 9 DAY OF Dec 2025. BY SIGNING THIS APPLICATION, I AGREE THAT THE CITY OF ROCKWALL (I.E. "CITY") IS AUTHORIZED AND PERMITTED TO PROVIDE INFORMATION CONTAINED WITHIN THIS APPLICATION TO THE PUBLIC. THE CITY IS ALSO AUTHORIZED AND PERMITTED TO REPRODUCE ANY COPYRIGHTED INFORMATION SUBMITTED IN CONJUNCTION WITH THIS APPLICATION, IF SUCH REPRODUCTION IS ASSOCIATED OR IN RESPONSE TO A REQUEST FOR PUBLIC INFORMATION.

GIVEN UNDER MY HAND AND SEAL OF OFFICE ON THIS THE 9 DAY OF Dec 2025.

OWNER'S SIGNATURE

NOTARY PUBLIC IN AND FOR THE STATE OF TEXAS





Case Location Map = 



City of Rockwall

Planning & Zoning Department
385 S. Goliad Street
Rockwall, Texas 75087
(P): (972) 771-7745
(W): www.rockwall.com

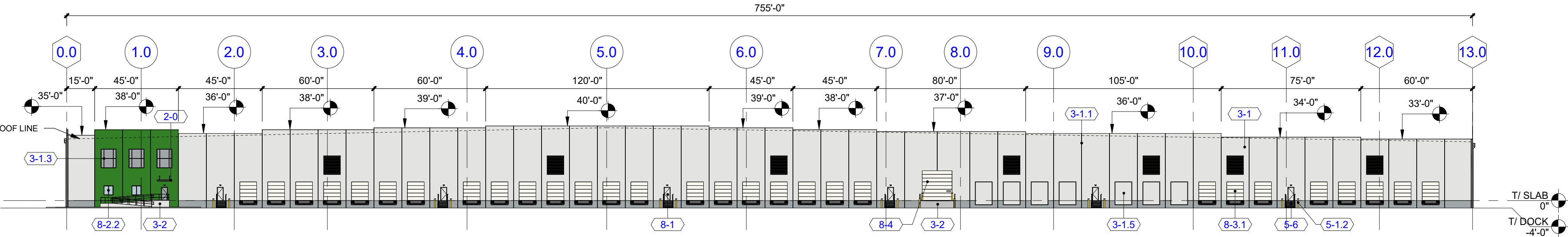
The City of Rockwall GIS maps are continually under development and therefore subject to change without notice. While we endeavor to provide timely and accurate information, we make no guarantees. The City of Rockwall makes no warranty, express or implied, including warranties of merchantability and fitness for a particular purpose. Use of the information is the sole responsibility of the user.



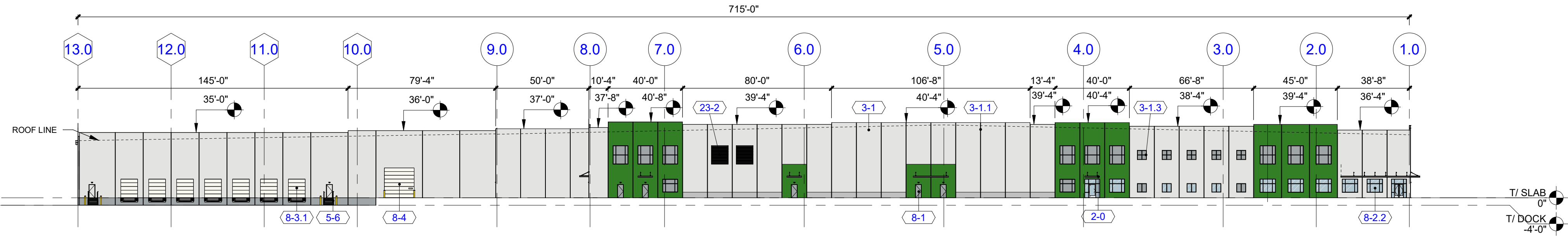
KEYNOTE LEGEND	
KEY VALUE	KEYNOTE DESCRIPTION
2-0	EXISTING CONDITIONS
3-1	TILT-UP CONCRETE WALL PANELS
3-1.1	TILT-UP CONCRETE TYPICAL PANEL JOINT
3-1.3	TILT-UP CONCRETE REVEAL TYPE "B"
3-1.5	TILT-UP CONCRETE 9'-0"W X 12'-2"H KNOCKOUT WITH TYPE "A" REVEALS FOR FUTURE DOCK DOOR
3-2	CONCRETE RAMP
5-1.2	8" DIA. CONCRETE FILLED STEEL PIPE BOLLARD, SEE DETAIL SHEET A502
5-6	GALVANIZED OPEN-METAL GRATE DOCK STAIRS
7-1	PREFINISHED METAL COLLECTOR BOX
7-2	PREFINISHED METAL DOWNSPOUT
7-6	ROOF DECK INCLINE, SEE STRUC.
8-1	EXTERIOR INSULATED HOLLOW METAL MAN DOOR
8-2.2	ALUMINUM STOREFRONT SYSTEM W/ TEMPERED INSULATED GLAZING
8-3.1	OVERHEAD DOCK DOOR W/ DOCK LEVELER KO & PIT
8-4	OVERHEAD DRIVE-IN DOOR
23-2	MECHANICAL LOUVER, SEE MECHANICAL

PAINT LEGEND		PAINT NOTES
<div><div></div><div>A</div></div>	COLOR A SHERWIN WILLIAMS SW 6252 ICE CUBE	EXTERIOR FACE OF TILT: (1) PRIME COAT, (1) TEXTURE COAT, (1) FINISH COAT, SEE ELEVATIONS* INTERIOR FACE OF TILT: (2) COATS, WHITE LATEX PAINT, FLOOR TO 32'-0" A.F.F.* METAL COPING / GRAVEL STOP / GUTTER / DOWNSPOUTS: PAC-CLAD KYNAR FINISH SUBMIT PHYSICAL SAMPLES TO ARCHITECT FOR SELECTION HOLLOW METAL DOORS AND FRAMES: (2) COATS OF ALKYD SEMI-GLOSS, COLOR TO MATCH ADJACENT WALL, TYP. METAL STAIR, LANDING AND HANDRAILS: GALVANIZED, PAINTED TO MATCH COLOR C METAL RAMP GUARDRAIL: GALVANIZED, PAINTED TO MATCH COLOR C STEEL BOLLARDS: EXTERIOR: GALVANIZED, PAINTED SAFETY YELLOW INTERIOR: PAINTED SAFETY YELLOW METAL DOWNSPOUT GUARD: GALVANIZED, PAINTED TO MATCH COLOR C METAL LOUVERS: MILL FINISH ALUMINUM METAL ROOF ACCESS LADDER: GALVANIZED, PAINTED TO MATCH COLOR C METAL DOCK ANGLE: COLOR TO MATCH COLOR B, INDUSTRIAL ENAMEL STOREFRONT SEALANT: TO MATCH STOREFRONT SILICONE SEALANT: - TILT / TILT - (BASF - LIMESTONE) - TILT / UNSTAINED CONCRETE - (BASF - LIMESTONE) ROOF DECKING: FACTORY PAINTED, WHITE *ALL WALLS SHALL BE PREPARED AND PAINTED PER MANUFACTURER'S RECOMMENDATIONS.
<div><div></div><div>B</div></div>	COLOR B SHERWIN WILLIAMS SW 7073 NETWORK GRAY	
<div><div></div><div>C</div></div>	COLOR C SHERWIN WILLIAMS PRATT GREEN	
NOTE: COLORS TO BE APPROVED BY OWNER / ARCHITECT PRIOR TO CONSTRUCTION GC TO PAINT A SINGLE TILT PANEL ON SITE FOR OWNER APPROVAL BEFORE PROCEEDING WITH PAINTING ENTIRE BUILDING		

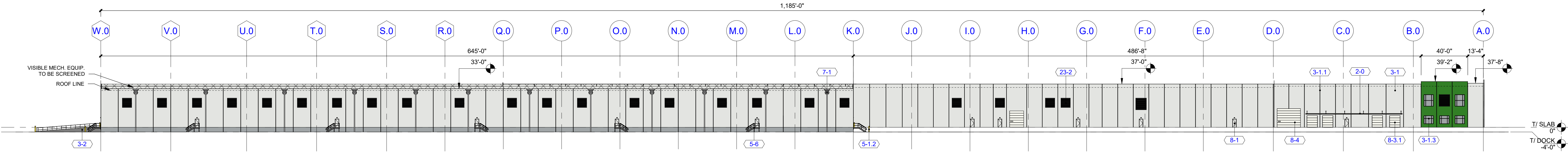
REVEAL PAINT SCHEMES	
<div><div></div><div>LIGHTER COLOR</div></div>	<div><div></div><div>DARKER COLOR</div></div>
<div><div></div><div>DARKER COLOR</div></div>	<div><div></div><div>LIGHTER COLOR</div></div>



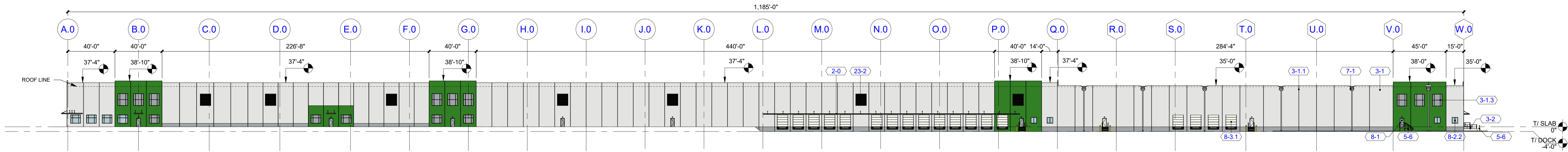
3 NORTH FINISH ELEVATION
SCALE: 1" = 40'-0"



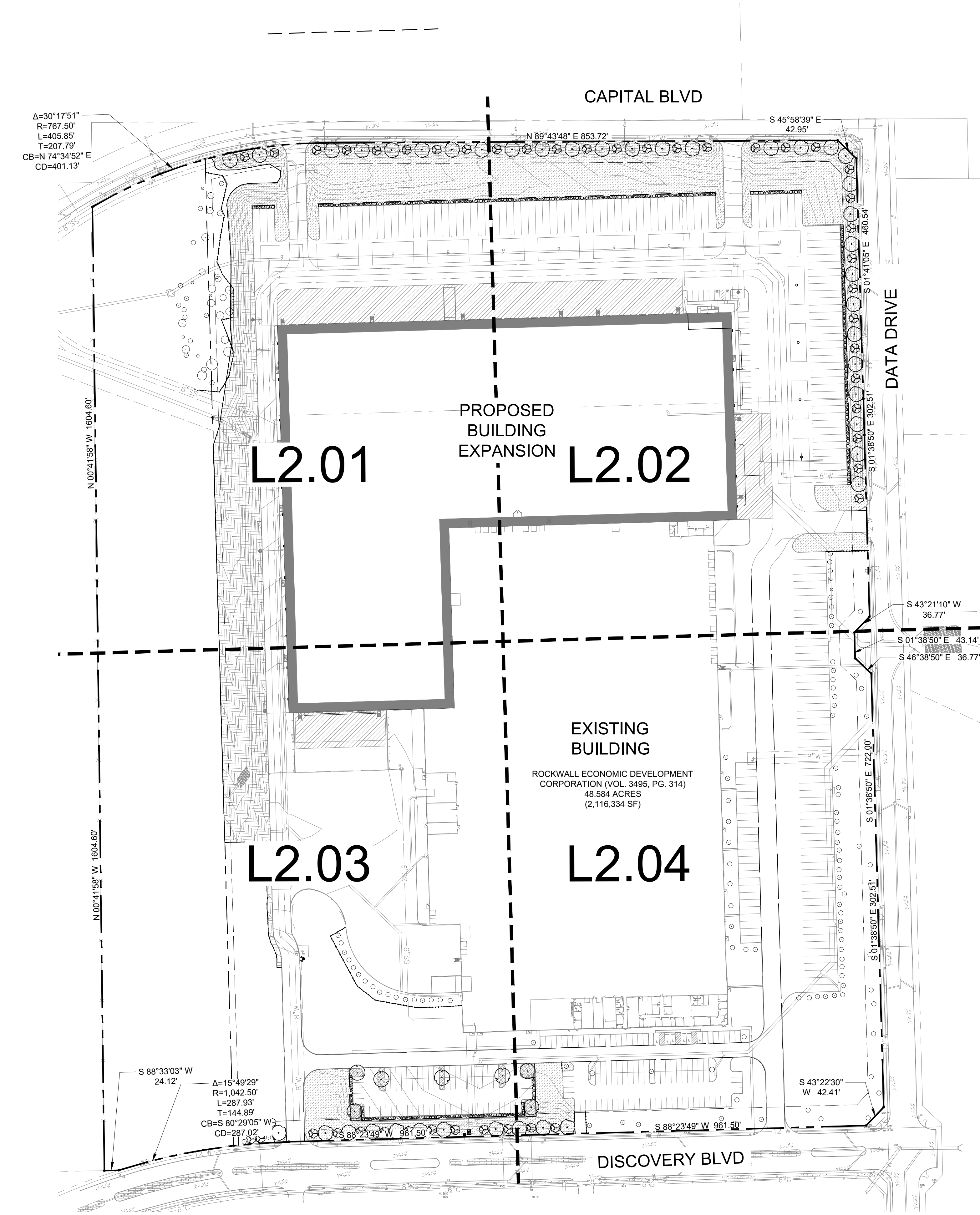
5 SOUTH FINISH ELEVATION
SCALE: 1" = 40'-0"



4 WEST FINISH ELEVATION
SCALE: 1" = 40'-0"



2 EAST FINISH ELEVATION
SCALE: 1" = 40'-0"



PLANTING GENERAL NOTES

- ALL PLANTS SHALL BE SET OUT FOR APPROVAL BY THE OWNER'S REPRESENTATIVE PRIOR TO INSTALLATION.
- FINE GRADING SHALL BE PERFORMED IN ALL AREAS TO BE LANDSCAPED. FINE GRADING SHALL INCLUDE THE REMOVAL OF DEBRIS, ROCKS, ETC. FROM THE SITE AND INSURE POSITIVE DRAINAGE IN ALL AREAS.
- THE CONTRACTOR SHALL LOCATE ALL UTILITIES AND EASEMENTS IN THE FIELD PRIOR TO COMMENCEMENT OF WORK. CONTRACTOR IS RESPONSIBLE FOR ANY DAMAGE TO UTILITIES DURING THE COURSE OF CONSTRUCTION.
- WRITTEN DIMENSIONS SHALL GOVERN OVER SCALED DIMENSIONS.
- THE CONTRACTOR SHALL REFER TO THE SPECIFICATIONS FOR ADDITIONAL INFORMATION AND REQUIREMENTS ASSOCIATED WITH THE LANDSCAPE AND ACCESSORIES.
- ALL PLANT MATERIALS SHALL MEET ANSI Z60.1 STANDARDS FOR CALIPER, HEIGHT AND ROOT BALL SIZE. ANY MATERIALS THAT DO NOT MEET OR EXCEED SUCH STANDARDS SHALL BE REJECTED AND REPLACED AT THE CONTRACTOR'S EXPENSE.
- BALLED AND BURLAPPED TREES SHALL HAVE THE TOP HALF OF THE WIRE BASKET REMOVED. THE BURLAP SHALL BE REMOVED TO THE GREATEST EXTENT POSSIBLE, USING A KNIFE TO CUT AND REMOVE THE BOTTOM HALF UNDER THE WIRE BASKET THAT REMAINS.
- QUANTITIES ARE SHOWN FOR CONVENIENCE ONLY. CONTRACTOR IS RESPONSIBLE FOR VERIFYING ALL QUANTITIES

NOTE:
IRRIGATION SYSTEM TO BE AUTOMATIC PER CITY OF ROCKWALL STANDARDS. ALL TREES TO RECEIVE 2 TREE BUBBLERS.

PROPOSED USE: INDUSTRIAL FACILITY
ZONING: LIGHT INDUSTRIAL

APPROVED:
I hereby certify that the above and foregoing site plan for a development in the City of Rockwall, Texas, was approved by the Planning & Zoning Commission of the City of Rockwall on the ____ day of ____ 2025.
WITNESS OUR HANDS, this ____ day of ____ 2025.

Planning & Zoning Commission, Chairman Director of Planning and Zoning

OWNER
ROCKWALL ECONOMIC DEV. CORP.
2610 OBSERVATION TRAIL SUITE 104
ROCKWALL, TEXAS 75032
PHONE: (972) 772-0025
CONTACT: SHANNON FOLTZ

ENGINEER/APPLICANT
WESTWOOD PROFESSIONAL SERVICES
7557 RAMBLER ROAD SUITE 1400
DALLAS, TEXAS 75231
PHONE: (972) 235-3031
CONTACT: CHET LEUGERS

PLANT SCHEDULE

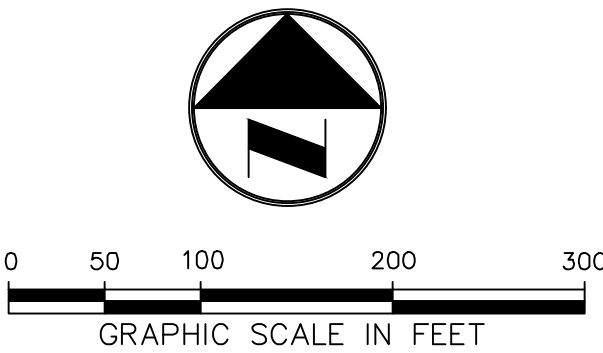
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	QB	QUERCUS BUCKLEYI 'TEXANA' / BUCKLEY OAK	B & B	38	SINGLE, STRAIGHT LEADER, MATCHING
	UP	ULMUS PARVIFOLIA / CHINESE ELM	4" CAL.	40	SINGLE, STRAIGHT LEADER, MATCHING
ORNAMENTAL TREES					
	CT	CERCIS CANADENSIS 'TEXENSIS' / EASTERN REDBUD	2" CAL.	27	MULT-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
	ILD	ILEX DECIDUA / POSSUMHAW HOLLY	2" CAL.	24	MULT-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
SHRUBS					
	IN	ILEX VOMITORIA 'NANA' / DWARF YAUAPON	5 GAL	116	FULL, MATCHING
	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
SOD/SEED					
	CD2	CYNODON DACTYLON / BERMUDA GRASS	SEED	68,229 SF	100% WEED, PEST AND DISEASE FREE
	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

LANDSCAPE REQUIREMENTS - CITY OF ROCKWALL

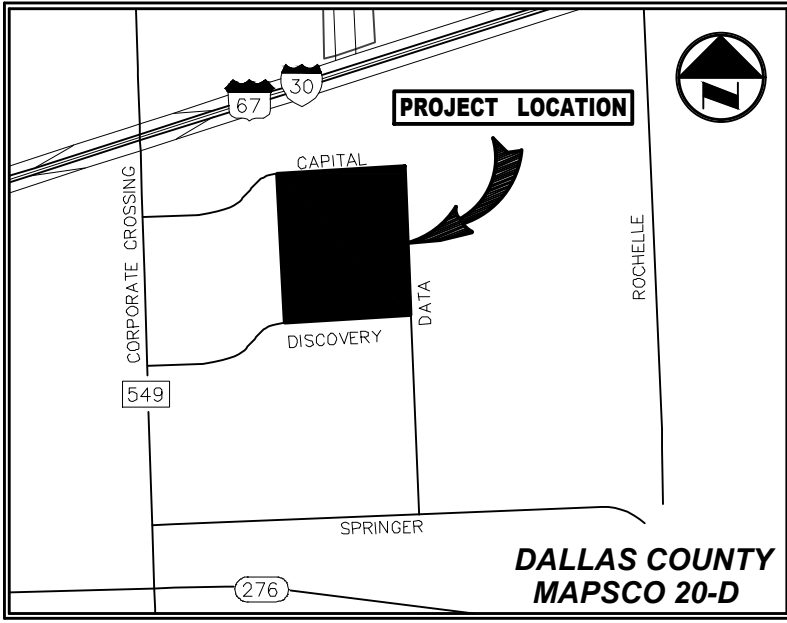
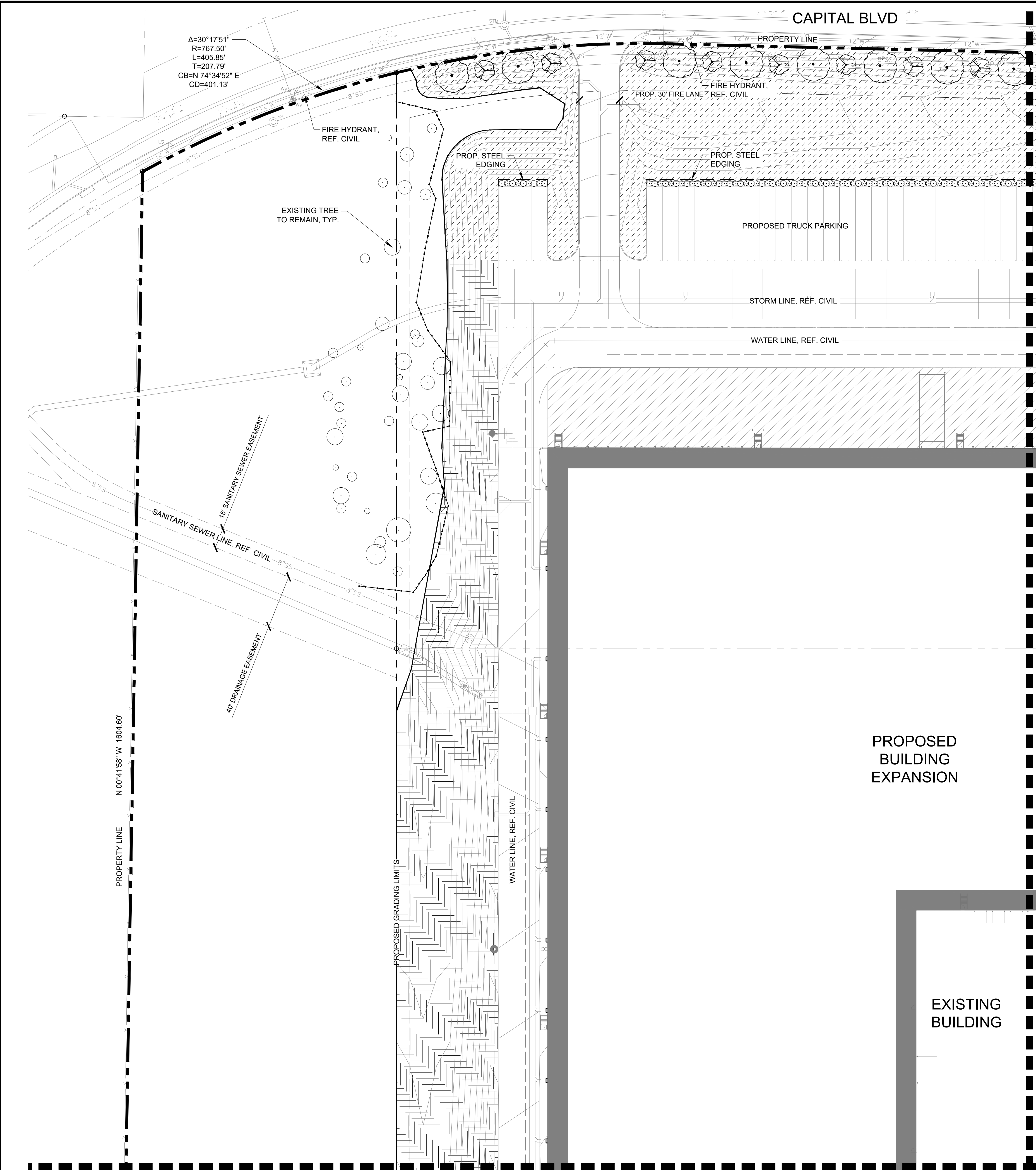
PROJECT: PRATT INDUSTRIES			
ZONING: LIGHT INDUSTRIAL			
TOTAL LOT AREA: 48.5 ACRES (2,116,334 SF), 15% MIN. LANDSCAPE IN FRONT YARD.			
STREET TREES: 1 PER 50 L.F. OF STREET FRONTAGE			
CAPITAL BLVD (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	793 / 50 = 16 CANOPY TREES & 16 ACCENT TREES	32 TREES	37 TREES
DATA DRIVE (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	585 / 50 = 12 CANOPY TREES & 12 ACCENT TREES	24 TREES	24 TREES
DISCOVERY BLVD (ROW OF EVERGREEN SHRUBS PROVIDED ALONG PARKING LOT WITHIN FRONT YARD)	758 / 50 = 15 CANOPY TREES & 15 ACCENT TREES	30 TREES	30 TREES
PARKING LOT TREES - 1 TREE PER 80 FEET			
204 SPACES, NO TREE MORE THAN 80 FEET FROM PARKING SPACE		7 TREES	7 TREES
MINIMUM LANDSCAPE REQUIREMENT		REQUIRED	PROVIDED
15% OF THE SITE MUST BE LANDSCAPED		2,116,334 SF * .15 = 317,451 SF	317,451 SF

INTERIM REVIEW

THESE DOCUMENTS ARE INTENDED FOR INTERIM REVIEW ONLY AND NOT FOR REGULATORY APPROVAL/PERMITTING, OR CONSTRUCTION.
REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JAMISON
TEXAS REGISTRATION NUMBER 2915



NO.	DATE	REVISION
Westwood Westwood Professional Services, Inc. westwoodps.com		
7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301		
OVERALL LANDSCAPE PLAN		
ROCKWALL MANUFACTURING FACILITY		
PROJECT ADDRESS		
LOT 1, BLOCK A, ROCKWALL		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
JBJ	EJK	DEC 2025
SCALE	NOTES	FILE
NO.	L2.00	



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

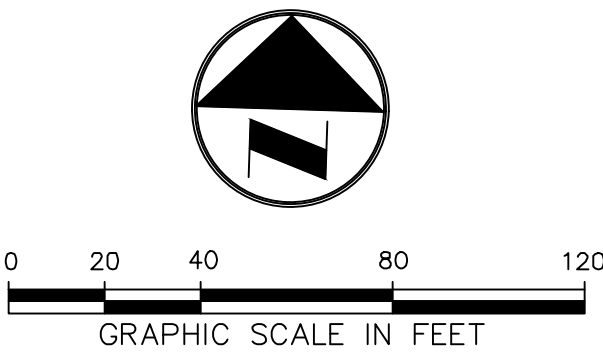
SYMBOL	CODE	BOTANICAL / COMMON NAME	SIZE	QTY	REMARKS
TREES					
	QB	QUERCUS BUCKLEYI 'TEXANA' / BUCKLEY OAK	B & B	38	SINGLE, STRAIGHT LEADER, MATCHING
	UP	ULMUS PARVIFOLIA / CHINESE ELM	4" CAL.	40	SINGLE, STRAIGHT LEADER, MATCHING
ORNAMENTAL TREES					
	CT	CERCIS CANADENSIS 'TEXENSIS' / EASTERN REDBUD	2" CAL.	27	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
	ILD	ILEX DECIDUA / POSSUMHAW HOLLY	2" CAL.	24	MULTI-LEADER, FULL, MATCHING, MINIMUM 4' HT. AT PLANTING
SHRUBS					
	IN	ILEX VOMITORIA 'NANA' / DWARF YAUPON	5 GAL	116	FULL, MATCHING
	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
SOD/SEED					
	CD2	CYNODON DACTYLON / BERMUDA GRASS	SEED	68,229 SF	100% WEED, PEST AND DISEASE FREE
	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

MATCHLINE, SEE SHEET L2.02

PROPOSED
BUILDING
EXPANSION

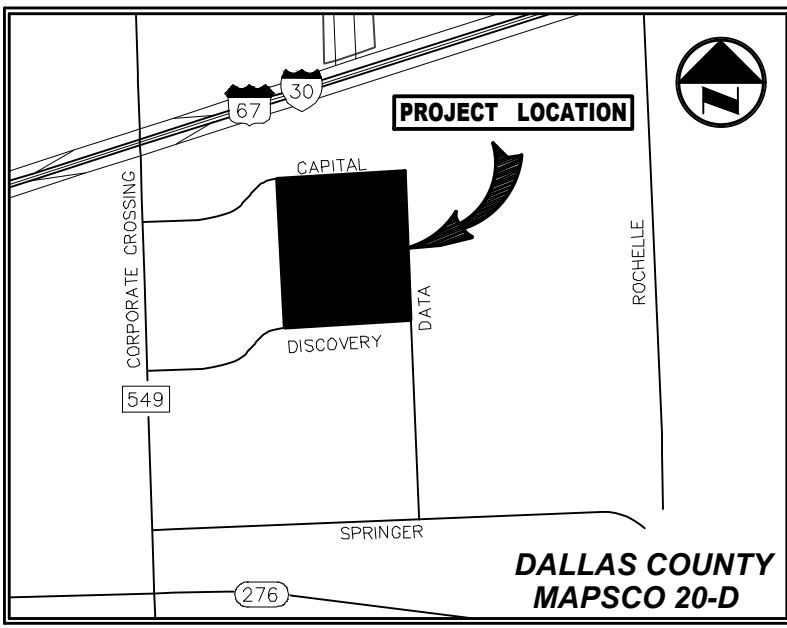
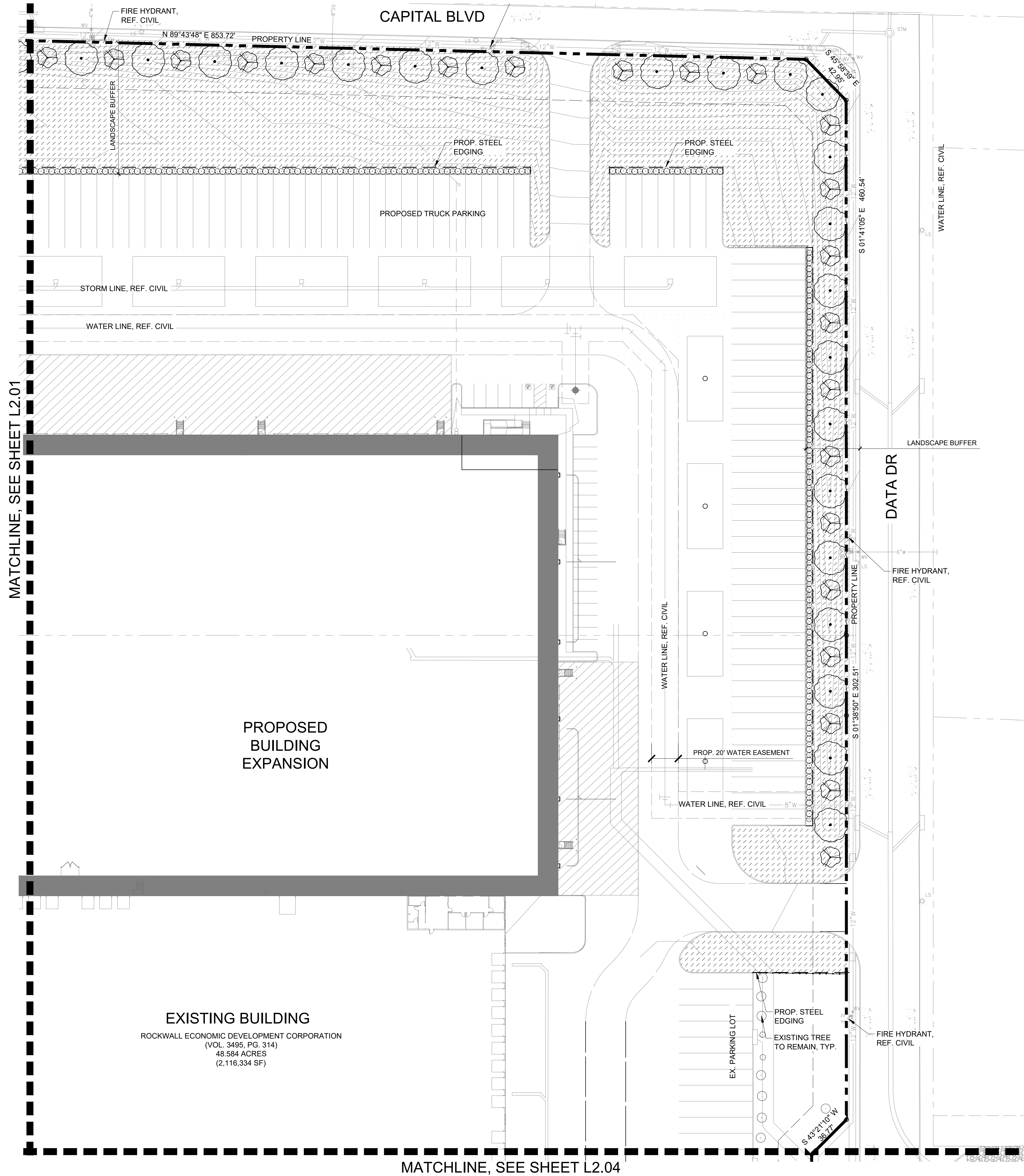
EXISTING
BUILDING

MATCHLINE, SEE SHEET L2.03



INTERIM REVIEW
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CONSTRUCTION.
REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

NO.	DATE	REVISION				
Westwood		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBP/ELS ENGINEERING FIRM NO. 11756 TBP/ELS SURVEYING FIRM NO. 10074301				
Westwood Professional Services, Inc.		westwoodps.com				
LANDSCAPE PLAN						
ROCKWALL MANUFACTURING FACILITY						
PROJECT ADDRESS						
LOT 1, BLOCK A, ROCKWALL						
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JBJ	EJK	DEC 2025				L2.01

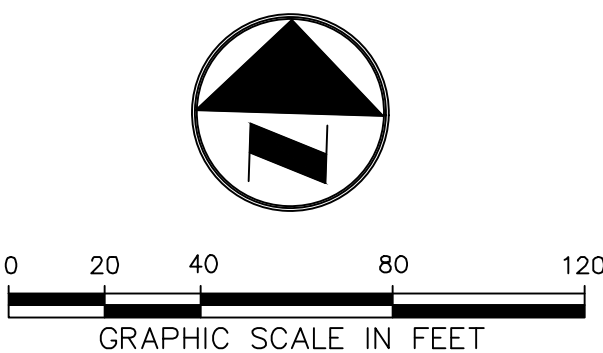


VICINITY MAP
(NOT TO SCALE)

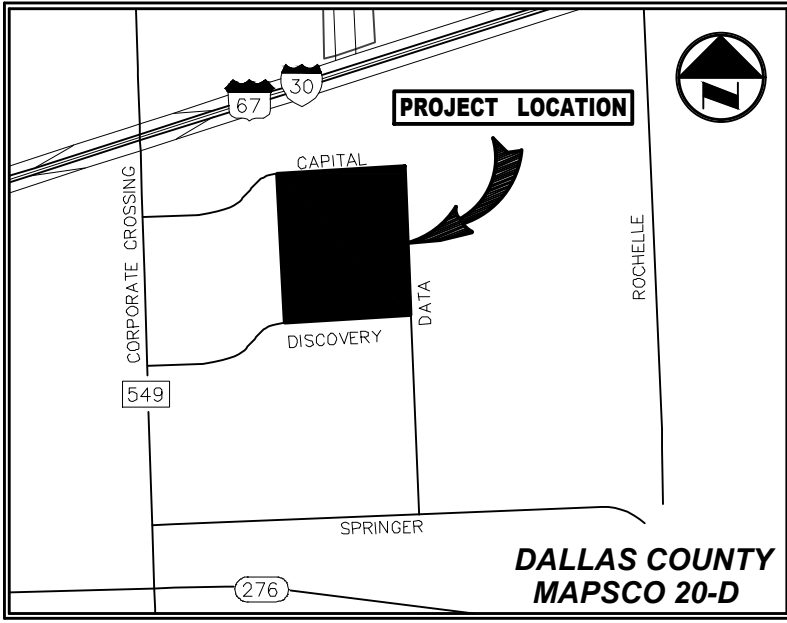
PLANT SCHEDULE

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	RI	RHAMPHILEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915



MATCHLINE, SEE SHEET L2.01



VICINITY MAP
(NOT TO SCALE)

PLANT SCHEDULE

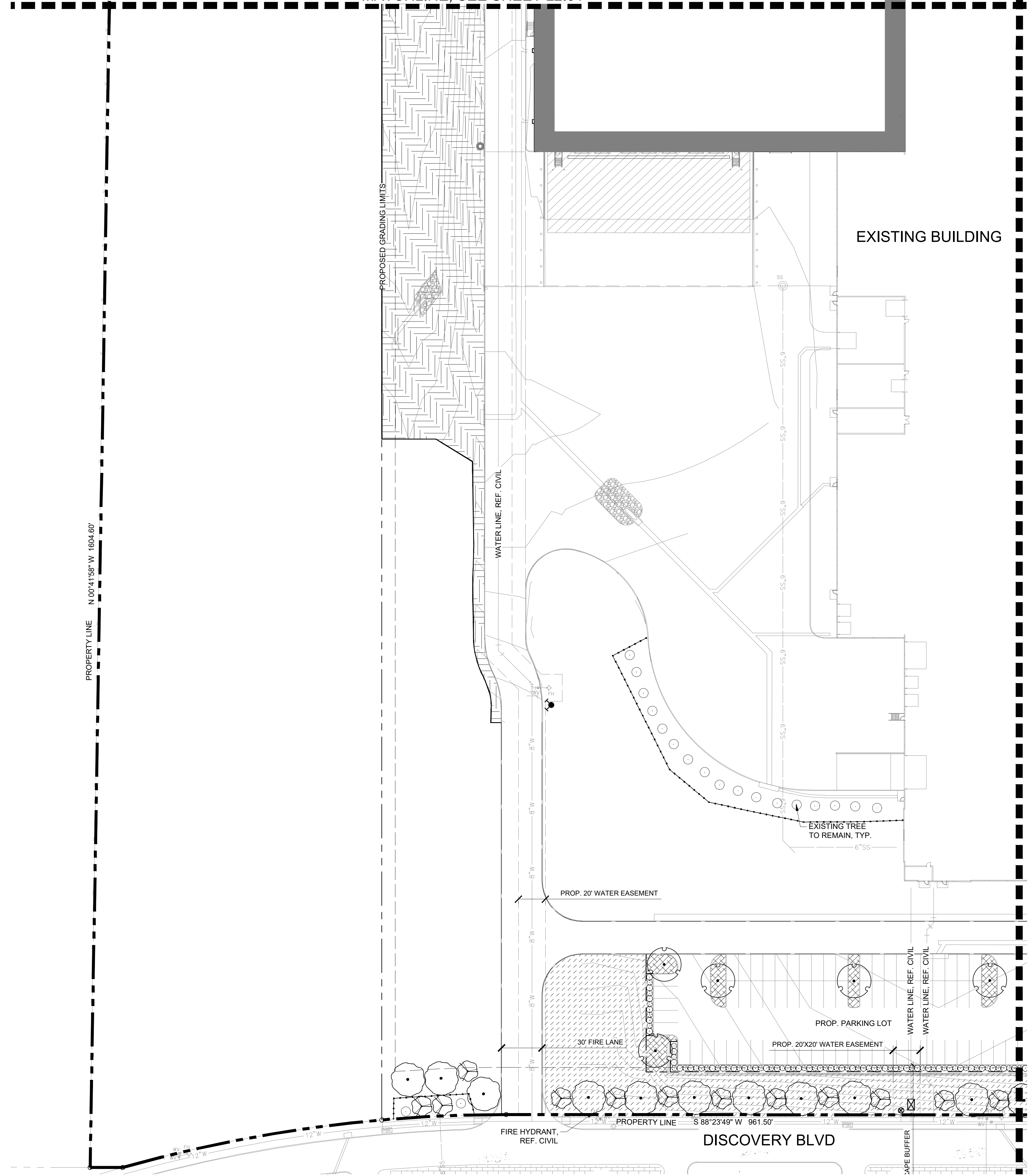
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JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

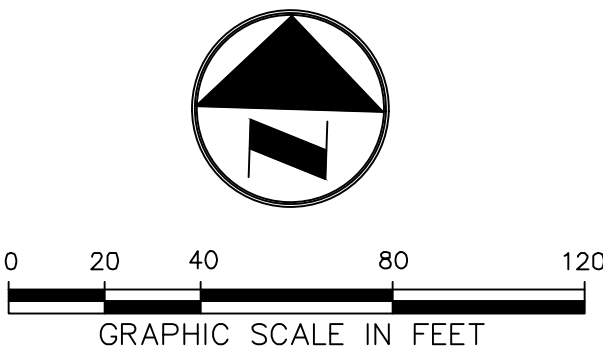
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WPS FILE: 0068742.00

CASE NUMBER: XXXX-XXXX

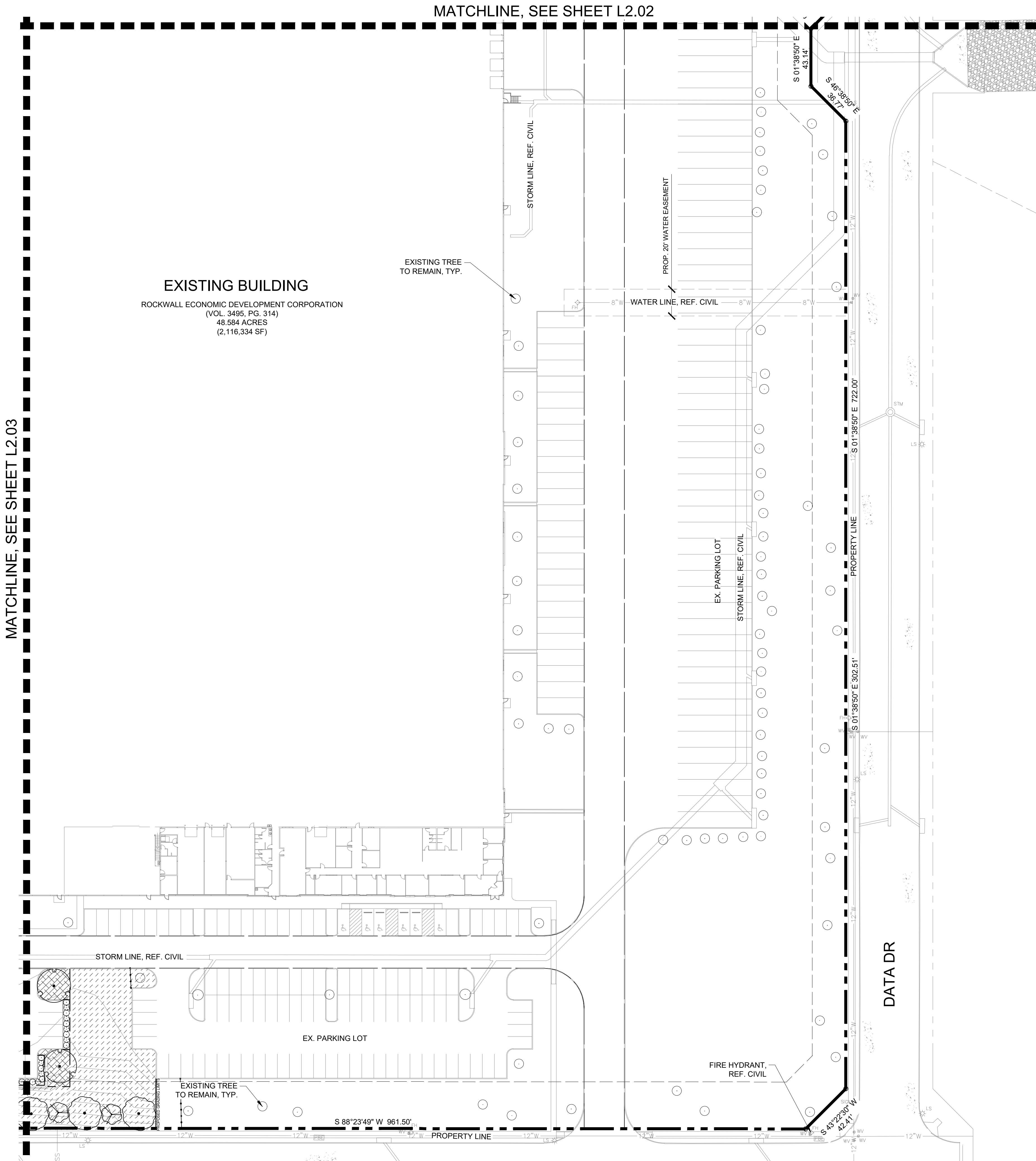


1 LANDSCAPE PLAN
1" = 40'-0"



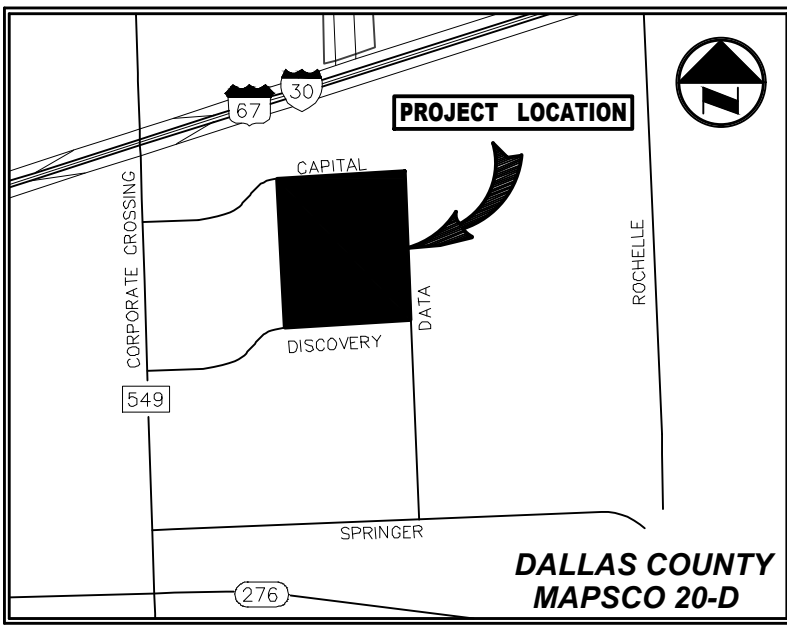
ROCKWALL MANUFACTURING FACILITY

MATCHLINE, SEE SHEET L2.03



PLANT SCHEDULE

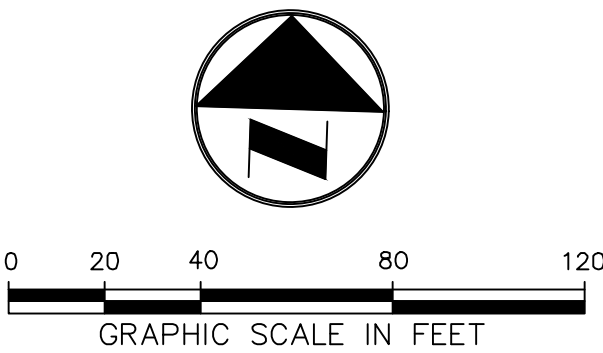
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	IN	ILEX VOMITORIA 'NANA' / DWARF YAUPOON	5 GAL	116	FULL, MATCHING
	RI	RHAPHIOLEPIS INDICA / INDIAN HAWTHORN	5 GAL	111	FULL, MATCHING
SOD/SEED					
	CD2	CYNODON DACTYLON / BERMUDA GRASS	SEED	68,229 SF	100% WEED, PEST AND DISEASE FREE
	CD	CYNODON DACTYLON / BERMUDA GRASS	SOD	151,017 SF	SOLID, ROLLED TIGHT, SAND FILLED JOINTS, 100% WEED, PEST AND DISEASE FREE

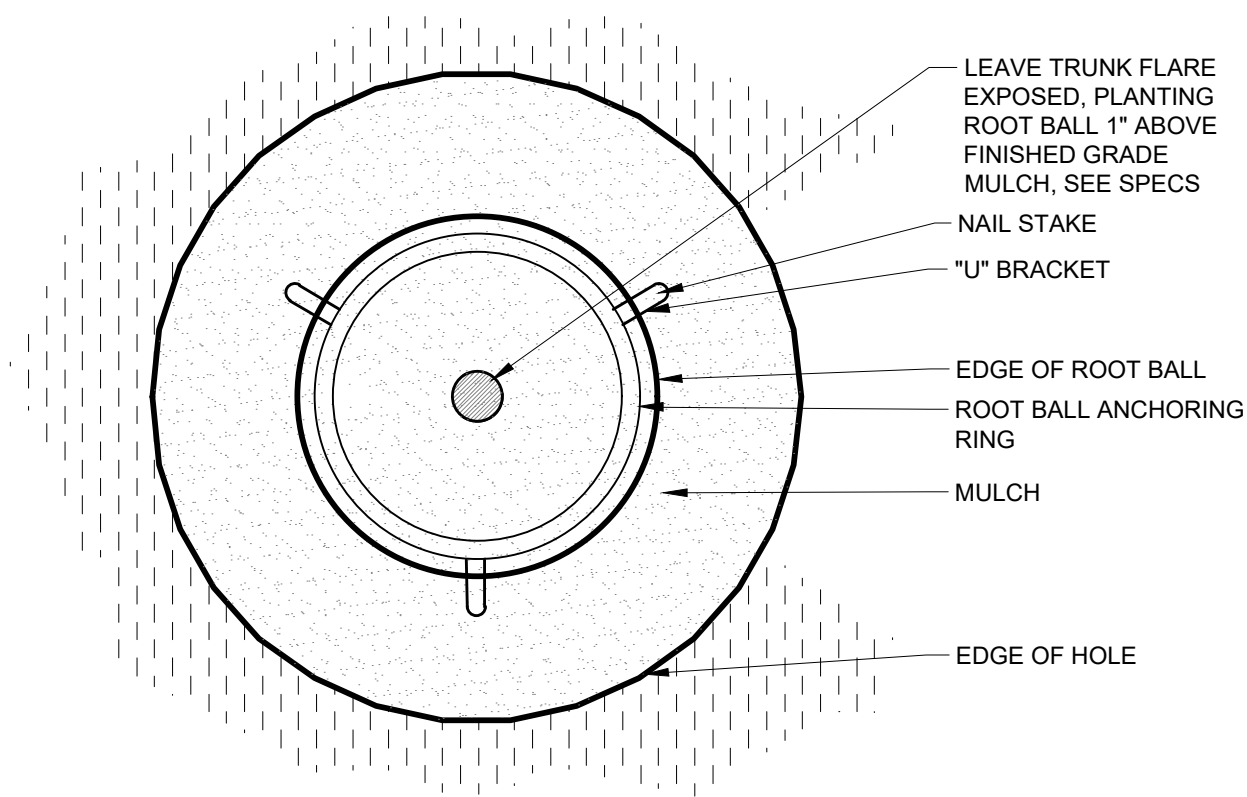


VICINITY MAP
(NOT TO SCALE)

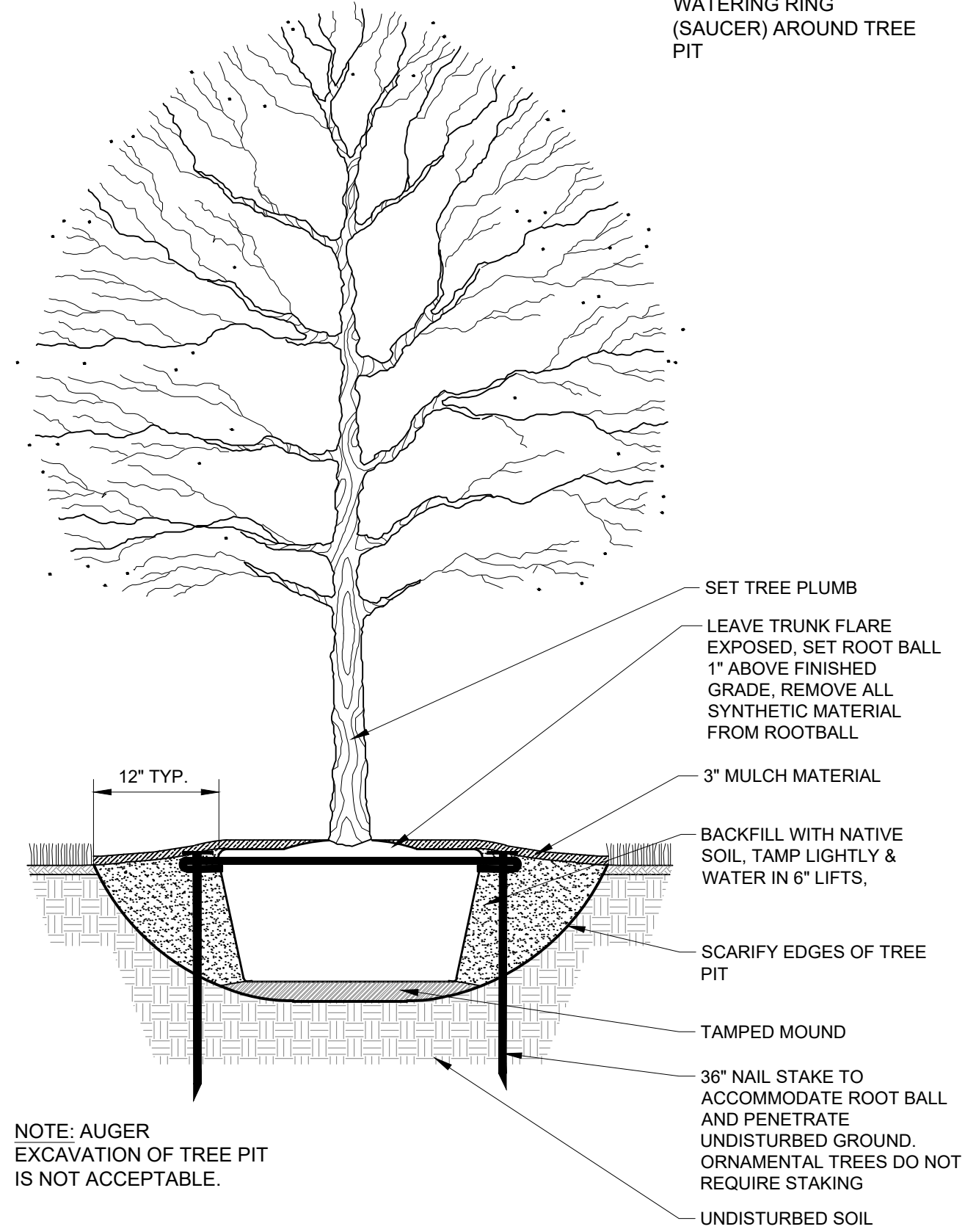
INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

NO.	DATE	REVISION				
Westwood				7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBP/ELS ENGINEERING FIRM NO. 11756		
Westwood Professional Services, Inc.				westwoodps.com TBP/ELS SURVEYING FIRM NO. 10074301		
LANDSCAPE PLAN						
ROCKWALL MANUFACTURING FACILITY						
PROJECT ADDRESS						
LOT 1, BLOCK A, ROCKWALL						
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JBJ	EJK	DEC 2025				L2.04

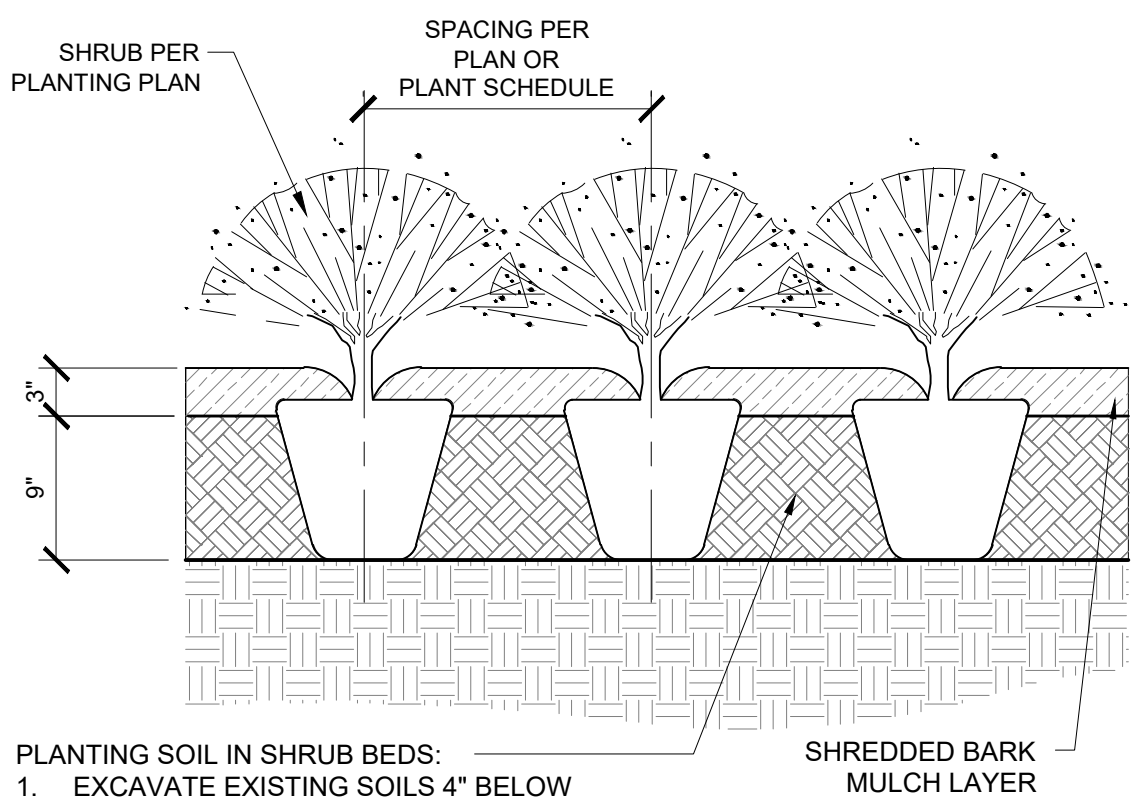




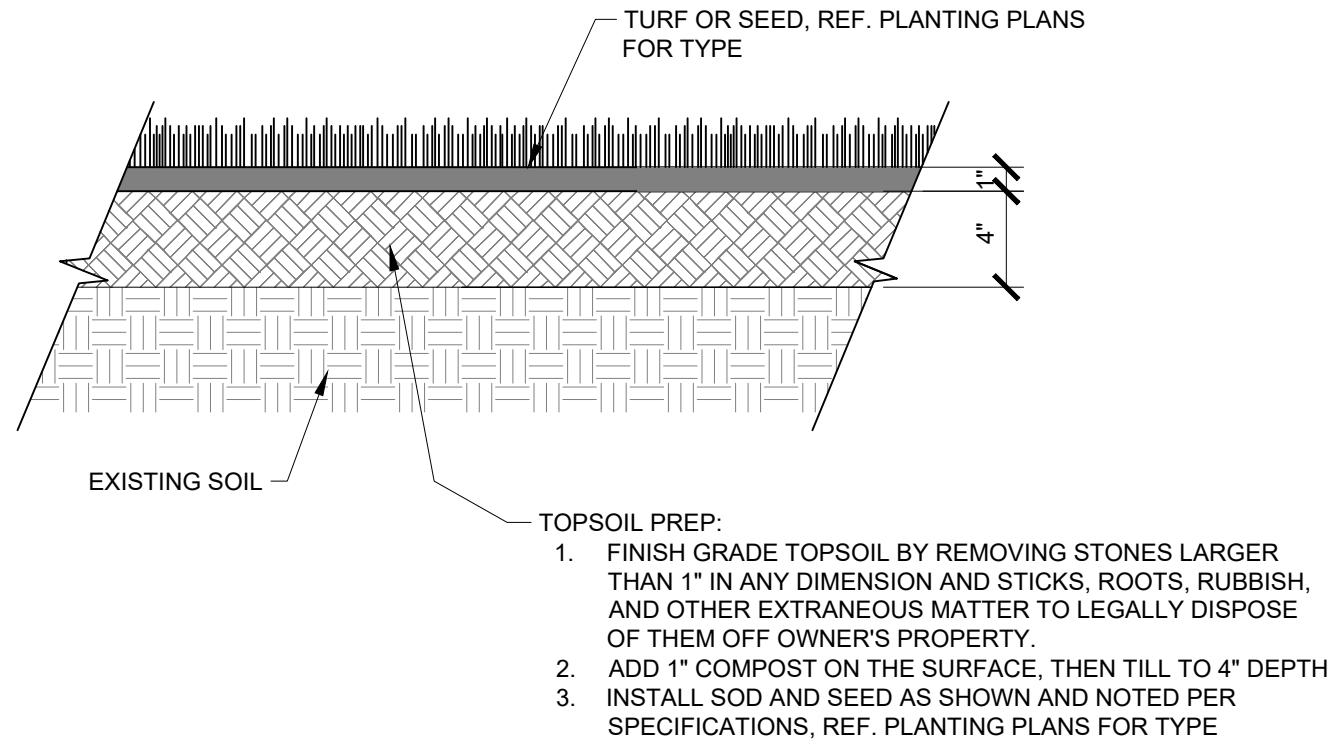
NOTE: DO NOT CREATE WATERING RING (SAUCER) AROUND TREE PIT



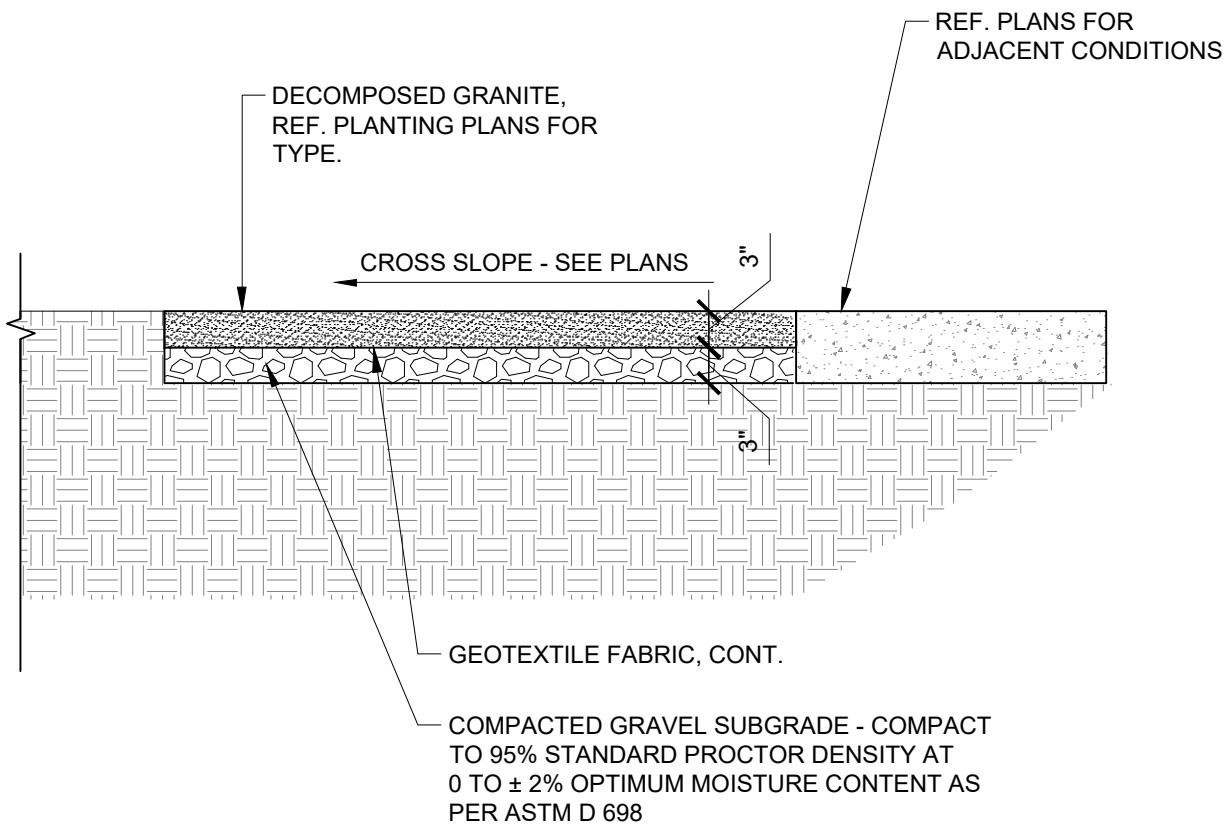
1 CANOPY TREE W/ UNDERGROUND STAKES
3/4" = 1'-0"



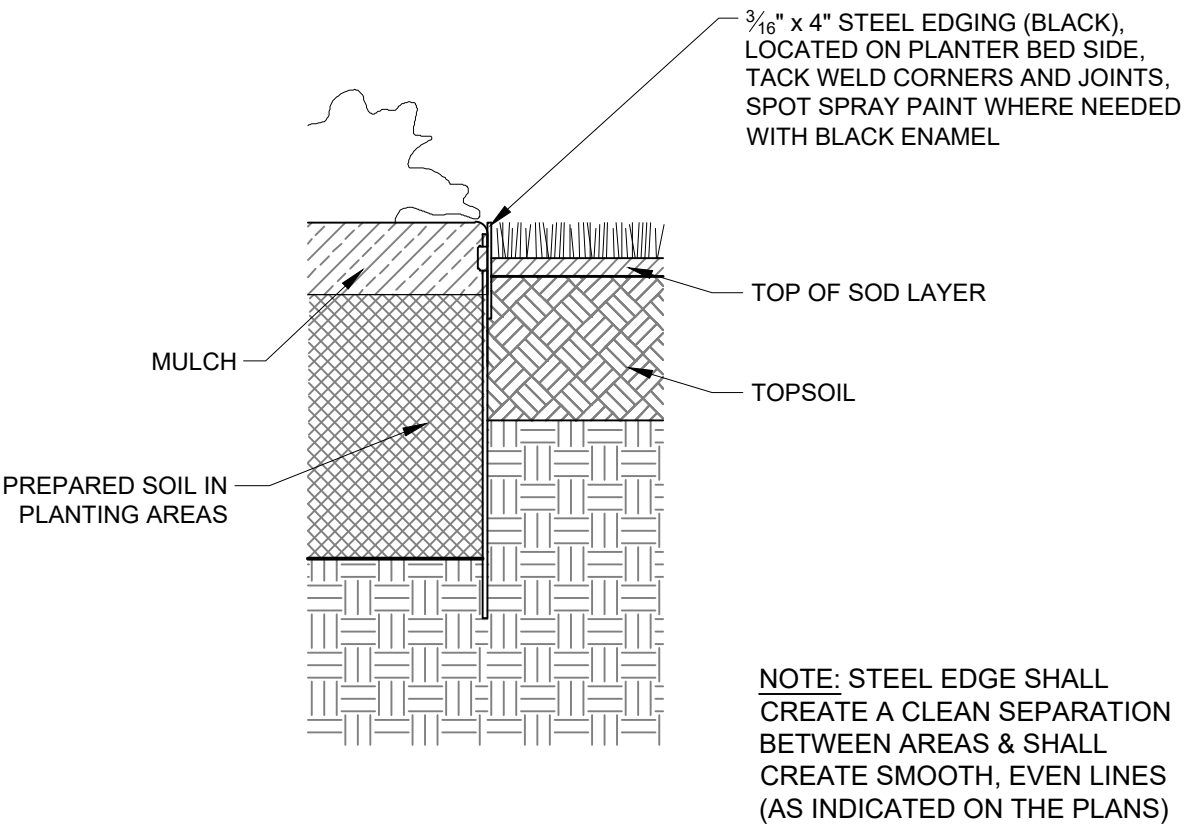
2 TYP. SHRUB PLANTING
1" = 1'-0"



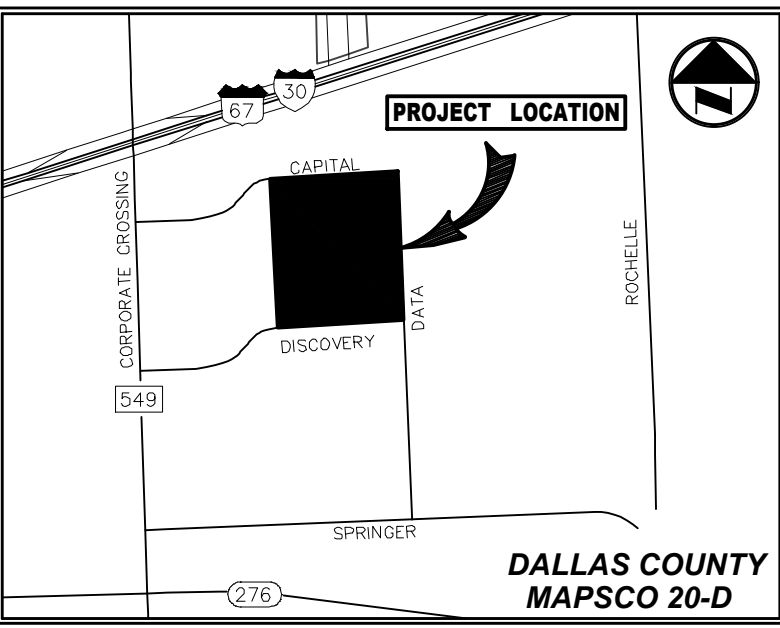
3 SOIL PROFILE FOR SOD & SEED
1 1/2" = 1'-0"



4 DECOMPOSED GRANITE
3/4" = 1'-0"



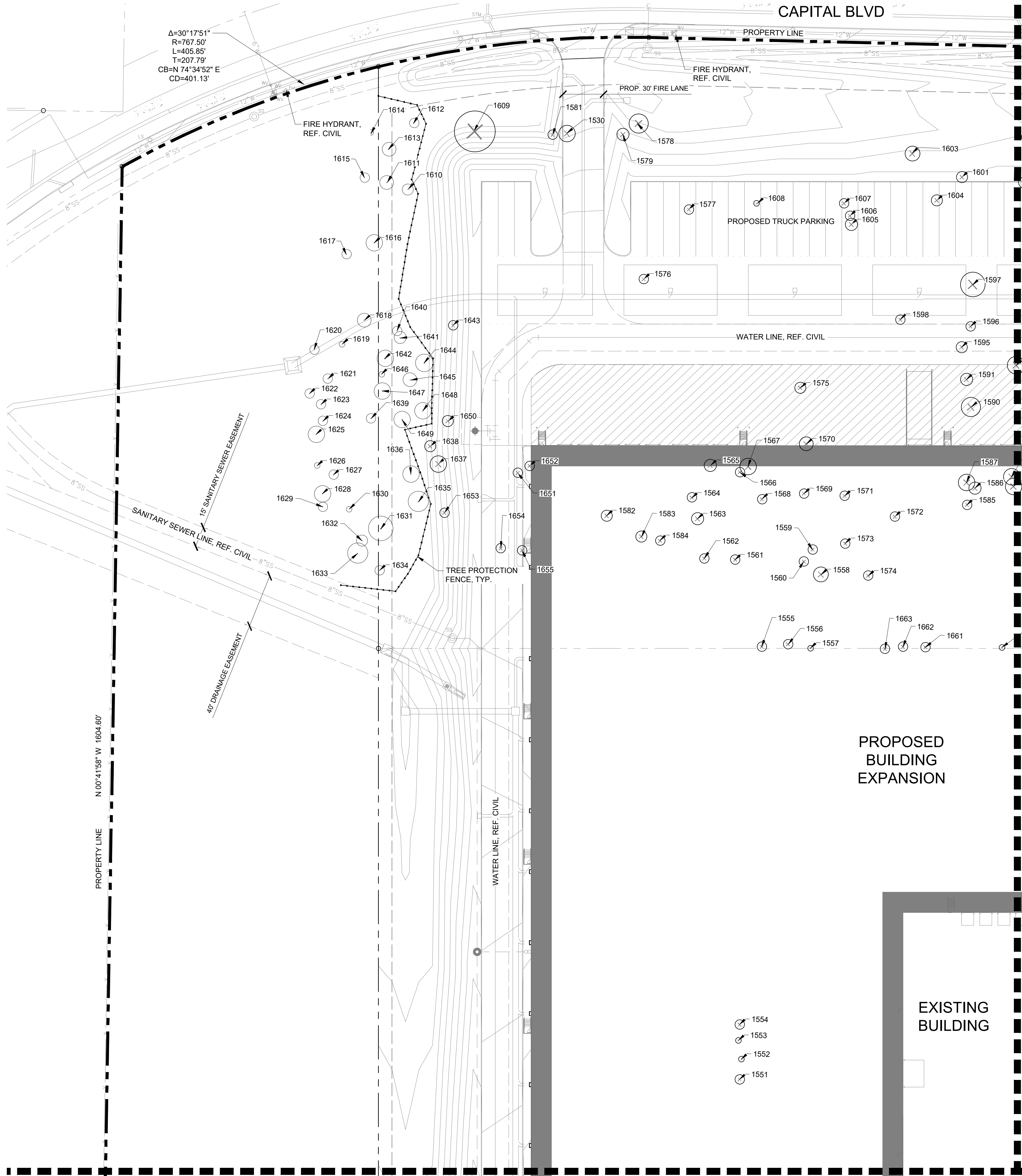
5 STEEL EDGING AT PLANTING
1 1/2" = 1'-0"



VICINITY MAP
(NOT TO SCALE)

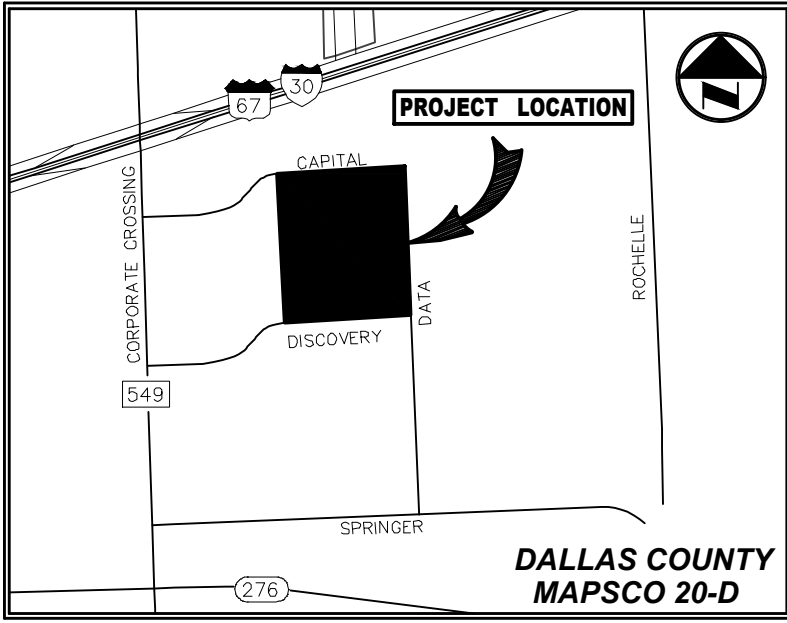
INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

NO.	DATE	REVISION
Westwood		
7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031		
Westwood Professional Services, Inc. westwoodps.com		
TBPELS ENGINEERING FIRM NO. 11756		
TBPELS SURVEYING FIRM NO. 10074301		
LANDSCAPE DETAILS		
ROCKWALL MANUFACTURING FACILITY		
PROJECT ADDRESS		
LOT 1, BLOCK A, ROCKWALL		
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS		
DESIGN	DRAWN	DATE
JBJ	EJK	DEC 2025
SCALE	NOTES	FILE
NO.	L2.05	



TREE PRESERVATION LEGEND

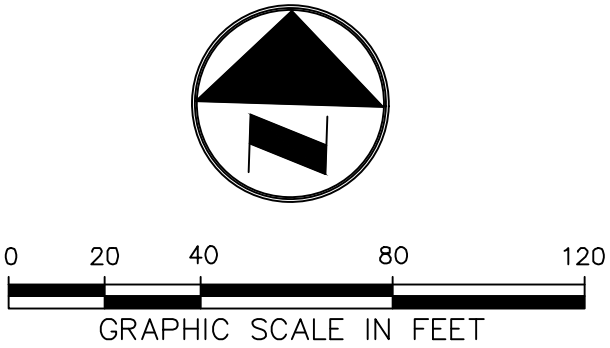
- TREE TO REMAIN
- TREE TO BE REMOVED
- TREE PROTECTION FENCE



VICINITY MAP
(NOT TO SCALE)

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1 TREE PRESERVATION PLAN
1" = 40'-0"



NO.	DATE	REVISION					
Westwood				7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBP/ELS ENGINEERING FIRM NO. 11756 TBP/ELS SURVEYING FIRM NO. 10074301			
Westwood Professional Services, Inc.				westwoodps.com			
TREE PRESERVATION PLAN							
ROCKWALL MANUFACTURING FACILITY							
PROJECT ADDRESS							
LOT 1, BLOCK A, ROCKWALL							
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS							
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.	
JBJ	EJK	DEC 2025				L1.01	

MATCHLINE, SEE SHEET L1.01

PROPOSED
BUILDING
EXPANSION

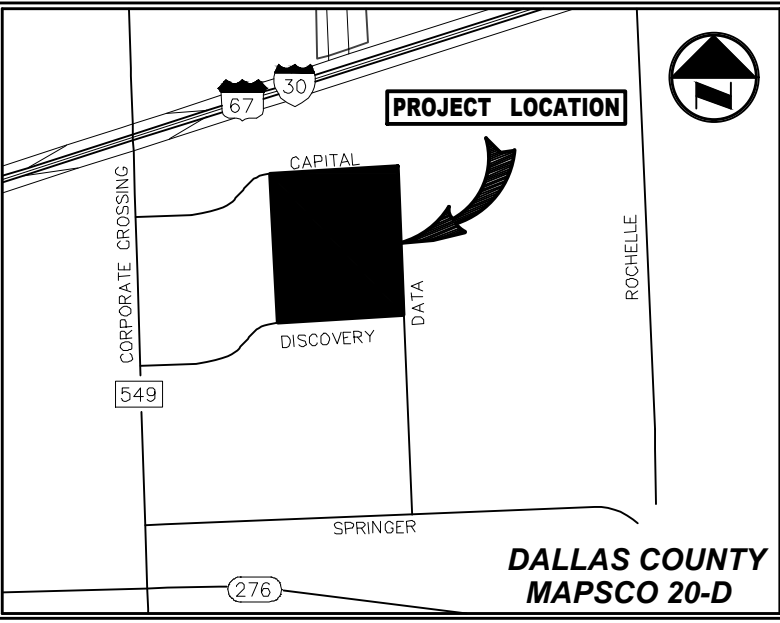
EXISTING BUILDING

TREE PRESERVATION LEGEND

TREE TO REMAIN

TREE TO BE REMOVED

TREE PROTECTION FENCE



VICINITY MAP
(NOT TO SCALE)

MATCHLINE, SEE SHEET L1.04

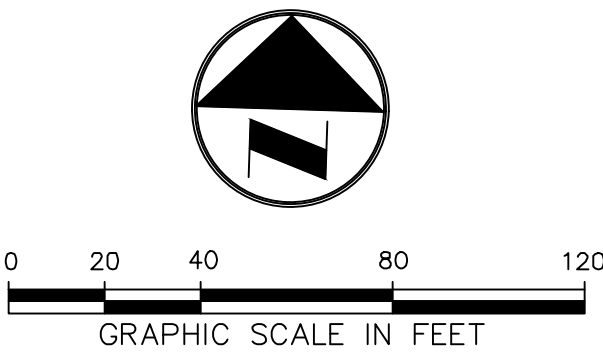
INTERIM REVIEW

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REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915

NO.	DATE	REVISION				
Westwood		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T:972.235.3031 TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301				
Westwood Professional Services, Inc.		westwoodps.com				
TREE PRESERVATION PLAN						
ROCKWALL MANUFACTURING FACILITY						
PROJECT ADDRESS						
LOT 1, BLOCK A, ROCKWALL						
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JBJ	EJK	DEC 2025				L1.03

1 TREE PRESERVATION PLAN
1" = 40'-0"



MATCHLINE, SEE SHEET L1.03

MATCHLINE, SEE SHEET L1.02

EXISTING BUILDING

ROCKWALL ECONOMIC DEVELOPMENT CORPORATION
(VOL. 3495, PG. 314)
48.584 ACRES
(2,116,334 SF)

PROP. 20' WATER EASEMENT

8" W WATER LINE, REF. CIVIL

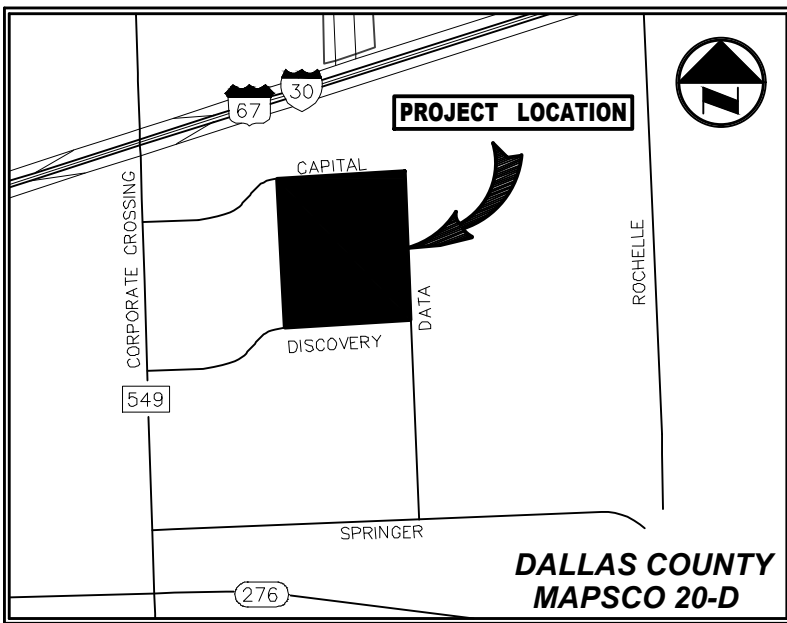
EX. PARKING LOT

DATA DR

FIRE HYDRANT,
REF. CIVIL

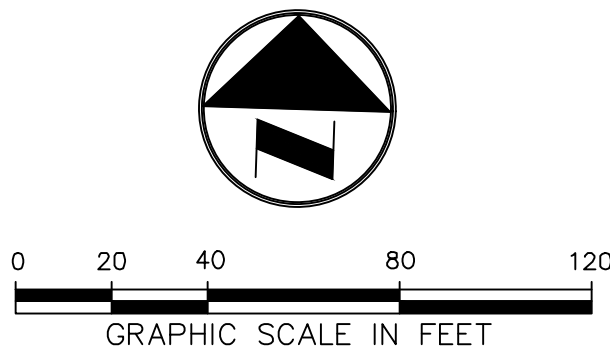
TREE PRESERVATION LEGEND

- TREE TO REMAIN
- TREE TO BE REMOVED
- TREE PROTECTION FENCE

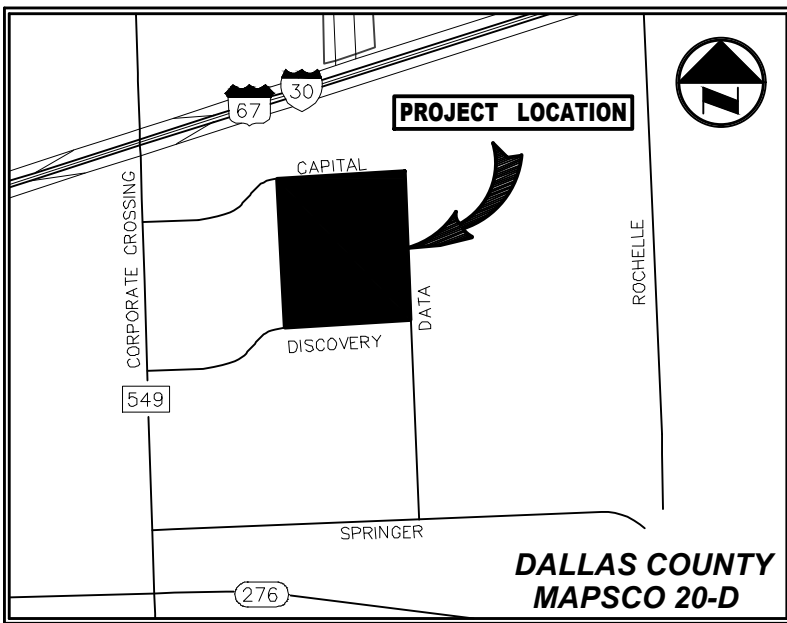


VICINITY MAP
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INTERIM REVIEW
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REGISTERED LANDSCAPE ARCHITECT
JEFFREY S. JOHNSON
TEXAS REGISTRATION NUMBER 2915



TREE SURVEY FIELD DATA								TREE SURVEY FIELD DATA							
TREE #	COMMON NAME	SPECIES NAME	DBH (INCHES)	REMOVE / PRESERVE	TREE TYPE	TREE HEALTH	INCHES TO REPLACE	TREE #	COMMON NAME	SPECIES NAME	DBH (INCHES)	REMOVE / PRESERVE	TREE TYPE	TREE HEALTH	INCHES TO REPLACE
1005	CEDAR ELM	Ulmus crassifolia	6.5	PRESERVE	PRIMARY	4		1562	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1006	CEDAR ELM	Ulmus crassifolia	7	PRESERVE	PRIMARY	4		1563	EASTERN RED CEDAR	Juniperus virginiana	9.5	REMOVE	SECONDARY	4	9.5
1007	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1564	EASTERN RED CEDAR	Juniperus virginiana	7.5	REMOVE	SECONDARY	4	7.5
1008	LIVE OAK	Quercus virginiana	5.5	PRESERVE	PRIMARY	4		1565	EASTERN RED CEDAR	Juniperus virginiana	8.5	REMOVE	SECONDARY	4	8.5
1009	LIVE OAK	Quercus virginiana	5.5	PRESERVE	PRIMARY	4		1566	EASTERN RED CEDAR	Juniperus virginiana	5	REMOVE	SECONDARY	4	5
1010	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1567	EASTERN RED CEDAR	Juniperus virginiana	12	REMOVE	SECONDARY	4	12
1011	LIVE OAK	Quercus virginiana	6.5	PRESERVE	PRIMARY	4		1568	EASTERN RED CEDAR	Juniperus virginiana	6.5	REMOVE	SECONDARY	4	6.5
1012	LIVE OAK	Quercus virginiana	6	REMOVE	PRIMARY	4	6	1569	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1013	LIVE OAK	Quercus virginiana	5	REMOVE	PRIMARY	4	5	1570	EASTERN RED CEDAR	Juniperus virginiana	10.5	REMOVE	SECONDARY	4	10.5
1014	CEDAR ELM	Ulmus crassifolia	6	REMOVE	PRIMARY	4	6	1571	EASTERN RED CEDAR	Juniperus virginiana	6.5	REMOVE	SECONDARY	4	6.5
1015	LIVE OAK	Quercus virginiana	5.5	REMOVE	PRIMARY	4	5.5	1572	EASTERN RED CEDAR	Juniperus virginiana	8.5	REMOVE	SECONDARY	4	8.5
1016	LIVE OAK	Quercus virginiana	6.5	REMOVE	PRIMARY	4	6.5	1573	EASTERN RED CEDAR	Juniperus virginiana	10	REMOVE	SECONDARY	4	10
1017	LIVE OAK	Quercus virginiana	6.5	REMOVE	PRIMARY	4	6.5	1574	EASTERN RED CEDAR	Juniperus virginiana	10	REMOVE	SECONDARY	4	10
1018	CEDAR ELM	Ulmus crassifolia	6.5	REMOVE	PRIMARY	4	6.5	1575	EASTERN RED CEDAR	Juniperus virginiana	8.5	REMOVE	SECONDARY	4	8.5
1019	CEDAR ELM	Ulmus crassifolia	6.5	REMOVE	PRIMARY	4	6.5	1576	EASTERN RED CEDAR	Juniperus virginiana	5	REMOVE	SECONDARY	4	5
1020	CEDAR ELM	Ulmus crassifolia	6.5	REMOVE	PRIMARY	4	6.5	1577	EASTERN RED CEDAR	Juniperus virginiana	7.5	REMOVE	SECONDARY	4	7.5
1021	LIVE OAK	Quercus virginiana	6.5	REMOVE	PRIMARY	4	6.5	1578	EASTERN RED CEDAR	Juniperus virginiana	14	REMOVE	SECONDARY	4	14
1022	LIVE OAK	Quercus virginiana	5	REMOVE	PRIMARY	4	5	1579	EASTERN RED CEDAR	Juniperus virginiana	9.5	REMOVE	SECONDARY	4	9.5
1023	LIVE OAK	Quercus virginiana	4.5	REMOVE	PRIMARY	4	4.5	1581	EASTERN RED CEDAR	Juniperus virginiana	10	REMOVE	SECONDARY	4	10
1024	LIVE OAK	Quercus virginiana	4.5	REMOVE	PRIMARY	4	4.5	1582	EASTERN RED CEDAR	Juniperus virginiana	8.5	REMOVE	SECONDARY	4	8.5
1025	CEDAR ELM	Ulmus crassifolia	6.5	PRESERVE	PRIMARY	4		1583	EASTERN RED CEDAR	Juniperus virginiana	9	REMOVE	SECONDARY	4	9
1026	CEDAR ELM	Ulmus crassifolia	6.5	PRESERVE	PRIMARY	4		1584	EASTERN RED CEDAR	Juniperus virginiana	6	REMOVE	SECONDARY	4	6
1027	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1585	EASTERN RED CEDAR	Juniperus virginiana	5.5	REMOVE	SECONDARY	4	5.5
1028	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1586	EASTERN RED CEDAR	Juniperus virginiana	9.5	REMOVE	SECONDARY	4	9.5
1029	EASTERN RED CEDAR	Juniperus virginiana	4.5	PRESERVE	SECONDARY	4		1587	EASTERN RED CEDAR	Juniperus virginiana	12.5	REMOVE	SECONDARY	4	12.5
1030	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1588	EASTERN RED CEDAR	Juniperus virginiana	12	REMOVE	SECONDARY	4	12
1031	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1589	EASTERN RED CEDAR	Juniperus virginiana	12	REMOVE	SECONDARY	4	12
1032	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1590	EASTERN RED CEDAR	Juniperus virginiana	14.5	REMOVE	SECONDARY	4	14.5
1033	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1591	EASTERN RED CEDAR	Juniperus virginiana	9	REMOVE	SECONDARY	4	9
1034	EASTERN RED CEDAR	Juniperus virginiana	3	PRESERVE	SECONDARY	4		1592	EASTERN RED CEDAR	Juniperus virginiana	13	REMOVE	SECONDARY	4	13
1035	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1593	EASTERN RED CEDAR	Juniperus virginiana	3	REMOVE	SECONDARY	4	
1036	EASTERN RED CEDAR	Juniperus virginiana	4.5	PRESERVE	SECONDARY	4		1594	EASTERN RED CEDAR	Juniperus virginiana	1.5	REMOVE	SECONDARY	4	
1037	EASTERN RED CEDAR	Juniperus virginiana	7	PRESERVE	SECONDARY	4		1595	EASTERN RED CEDAR	Juniperus virginiana	9	REMOVE	SECONDARY	4	9
1038	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1596	EASTERN RED CEDAR	Juniperus virginiana	4	REMOVE	SECONDARY	4	4
1039	EASTERN RED CEDAR	Juniperus virginiana	6.5	PRESERVE	SECONDARY	4		1597	EASTERN RED CEDAR	Juniperus virginiana	17.5	REMOVE	SECONDARY	4	17.5
1040	EASTERN RED CEDAR	Juniperus virginiana	5.5	PRESERVE	SECONDARY	4		1598	EASTERN RED CEDAR	Juniperus virginiana	9.5	REMOVE	SECONDARY	4	9.5
1041	EASTERN RED CEDAR	Juniperus virginiana	5	PRESERVE	SECONDARY	4		1599	EASTERN RED CEDAR	Juniperus virginiana	8.5	REMOVE	SECONDARY	4	8.5
1042	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1600	EASTERN RED CEDAR	Juniperus virginiana	3	REMOVE	SECONDARY	4	
1043	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1601	EASTERN RED CEDAR	Juniperus virginiana	8	REMOVE	SECONDARY	4	8
1044	CEDAR ELM	Ulmus crassifolia	6	PRESERVE	PRIMARY	4		1602	EASTERN RED CEDAR	Juniperus virginiana	4.5	REMOVE	SECONDARY	4	4.5
1045	CEDAR ELM	Ulmus crassifolia	7	PRESERVE	PRIMARY	4		1603	EASTERN RED CEDAR	Juniperus virginiana	11	REMOVE	SECONDARY	4	11
1046	CEDAR ELM	Ulmus crassifolia	8	PRESERVE	PRIMARY	4		1604	EASTERN RED CEDAR	Juniperus virginiana	8	REMOVE	SECONDARY	4	8
1047	CEDAR ELM	Ulmus crassifolia	7.5	PRESERVE	PRIMARY	4		1605	EASTERN RED CEDAR	Juniperus virginiana	9	REMOVE	SECONDARY	4	9
1048	CEDAR ELM	Ulmus crassifolia	8.5	PRESERVE	PRIMARY	4		1606	EASTERN RED CEDAR	Juniperus virginiana	6.5	REMOVE	SECONDARY	4	6.5
1049	CEDAR ELM	Ulmus crassifolia	7.5	PRESERVE	PRIMARY	4		1607	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1050	CEDAR ELM	Ulmus crassifolia	6	PRESERVE	PRIMARY	4		1608	EASTERN RED CEDAR	Juniperus virginiana	2	REMOVE	SECONDARY	4	
1051	CEDAR ELM	Ulmus crassifolia	4.5	PRESERVE	PRIMARY	4		1609	EASTERN RED CEDAR	Juniperus virginiana	8	REMOVE	SECONDARY	4	8
1052	CEDAR ELM	Ulmus crassifolia	5	PRESERVE	PRIMARY	4		1610	EASTERN RED CEDAR	Juniperus virginiana	8.5	PRESERVE	SECONDARY	4	
1053	CEDAR ELM	Ulmus crassifolia	4.5	PRESERVE	PRIMARY	4		1611	EASTERN RED CEDAR	Juniperus virginiana	10	PRESERVE	SECONDARY	4	
1054	CEDAR ELM	Ulmus crassifolia	5.5	PRESERVE	PRIMARY	4		1612	EASTERN RED CEDAR	Juniperus virginiana	4.5	PRESERVE	SECONDARY	4	
1055	CEDAR ELM	Ulmus crassifolia	5.5	PRESERVE	PRIMARY	4		1613	EASTERN RED CEDAR	Juniperus virginiana	10	PRESERVE	SECONDARY	4	
1056	CEDAR ELM	Ulmus crassifolia	4	PRESERVE	PRIMARY	2		1614	EASTERN RED CEDAR	Juniperus virginiana	1	PRESERVE	SECONDARY	4	
1057	CEDAR ELM	Ulmus crassifolia	5	PRESERVE	PRIMARY	4		1615	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4	
1058	CEDAR ELM	Ulmus crassifolia	5	PRESERVE	PRIMARY	4		1616	EASTERN RED CEDAR	Juniperus virginiana	12.5	PRESERVE	SECONDARY	4	
1059	CEDAR ELM	Ulmus crassifolia	6	PRESERVE	PRIMARY	4		1617	EASTERN RED CEDAR	Juniperus virginiana	6.5	PRESERVE	SECONDARY	4	
1060	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1618	EASTERN RED CEDAR	Juniperus virginiana	10.5	PRESERVE	SECONDARY	4	
1061	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1619	EASTERN RED CEDAR	Juniperus virginiana	3	PRESERVE	SECONDARY	4	
1062	CEDAR ELM	Ulmus crassifolia	5	PRESERVE	PRIMARY	4		1620	EASTERN RED CEDAR	Juniperus virginiana	6.5	PRESERVE	SECONDARY	4	
1063	LIVE OAK	Quercus virginiana	4.5	PRESERVE	PRIMARY	4		1621	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4	
1064	LIVE OAK	Quercus virginiana	5.5	PRESERVE	PRIMARY	4		1622	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4	
1065	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1623	EASTERN RED CEDAR	Juniperus virginiana	7.5	PRESERVE	SECONDARY	4	
1066	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1624	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4	
1067	LIVE OAK	Quercus virginiana	6	PRESERVE	PRIMARY	4		1625	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1068	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1626	EASTERN RED CEDAR	Juniperus virginiana	1	PRESERVE	SECONDARY	4	
1069	LIVE OAK	Quercus virginiana	6.5	PRESERVE	PRIMARY	4		1627	EASTERN RED CEDAR	Juniperus virginiana	7	PRESERVE	SECONDARY	4	
1070	LIVE OAK	Quercus virginiana	6	PRESERVE	PRIMARY	4		1628	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1071	LIVE OAK	Quercus virginiana	5.5	PRESERVE	PRIMARY	4		1629	EASTERN RED CEDAR	Juniperus virginiana	7.5	PRESERVE	SECONDARY	4	
1072	LIVE OAK	Quercus virginiana	7	PRESERVE	PRIMARY	4		1630	EASTERN RED CEDAR	Juniperus virginiana	3.5	PRESERVE	SECONDARY	4	
1073	LIVE OAK	Quercus virginiana	5.5	PRESERVE	PRIMARY	4		1631	EASTERN RED CEDAR	Juniperus virginiana	18	PRESERVE	SECONDARY	4	
1074	LIVE OAK	Quercus virginiana	6	PRESERVE	PRIMARY	4		1632	EASTERN RED CEDAR	Juniperus virginiana	8.5	PRESERVE	SECONDARY	4	
1075	LIVE OAK	Quercus virginiana	5	PRESERVE	PRIMARY	4		1633	EASTERN RED CEDAR	Juniperus virginiana	15.5	PRESERVE	SECONDARY	4	
1076	LIVE OAK	Quercus virginiana	6.5	PRESERVE	PRIMARY	4		1634	EASTERN RED CEDAR	Juniperus virginiana	4.5	PRESERVE	SECONDARY	4	
1077	LIVE OAK	Quercus virginiana	6	PRESERVE	PRIMARY	2		1635	EASTERN RED CEDAR	Juniperus virginiana	15	PRESERVE	SECONDARY	4	
1078	LIVE OAK	Quercus virginiana	6	PRESERVE	PRIMARY	4		1636	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1079	LIVE OAK	Quercus virginiana	4	PRESERVE	PRIMARY	2		1637	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1080	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1638	EASTERN RED CEDAR	Juniperus virginiana	8	PRESERVE	SECONDARY	4	
1081	EASTERN RED CEDAR	Juniperus virginiana	5.5	PRESERVE	SECONDARY	4		1639	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4	
1082	EASTERN RED CEDAR	Juniperus virginiana	7	PRESERVE	SECONDARY	4		1640	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4	
1083	EASTERN RED CEDAR	Juniperus virginiana	3	PRESERVE	SECONDARY	4		1641	EASTERN RED CEDAR	Juniperus virginiana	9	PRESERVE	SECONDARY	4	
1084	EASTERN RED CEDAR	Juniperus virginiana	3	PRESERVE	SECONDARY	4		1642	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1085	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1643	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1086	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1644	EASTERN RED CEDAR	Juniperus virginiana	13.5	PRESERVE	SECONDARY	4	
1087	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1645	EASTERN RED CEDAR	Juniperus virginiana	10	PRESERVE	SECONDARY	4	
1088	EASTERN RED CEDAR	Juniperus virginiana	5	PRESERVE	SECONDARY	4		1646	EASTERN RED CEDAR	Juniperus virginiana	3	PRESERVE	SECONDARY	4	
1089	EASTERN RED CEDAR	Juniperus virginiana	4.5	PRESERVE	SECONDARY	4		1647	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1090	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1648	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1091	EASTERN RED CEDAR	Juniperus virginiana	6	PRESERVE	SECONDARY	4		1649	EASTERN RED CEDAR	Juniperus virginiana	12	PRESERVE	SECONDARY	4	
1092	EASTERN RED CEDAR	Juniperus virginiana	4	PRESERVE	SECONDARY	4		1650	EASTERN RED CEDAR	Juniperus virginiana	8	REMOVE	SECONDARY	4	8
1093	EASTERN RED CEDAR	Juniperus virginiana	5	PRESERVE	SECONDARY	2		1651	EASTERN RED CEDAR	Juniperus virginiana	6	REMOVE	SECONDARY	4	6
1530	EASTERN RED CEDAR	Juniperus virginiana	12	REMOVE	SECONDARY	4	12	1652	EASTERN RED CEDAR	Juniperus virginiana	5.5	REMOVE	SECONDARY	4	5.5
1551	EASTERN RED CEDAR	Juniperus virginiana	4	REMOVE	SECONDARY	2	4	1653	EASTERN RED CEDAR	Juniperus virginiana	4.5	REMOVE	SECONDARY	4	4.5
1552	EASTERN RED CEDAR	Juniperus virginiana	3	REMOVE	SECONDARY	4		1654	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1553	EASTERN RED CEDAR	Juniperus virginiana	3	REMOVE	SECONDARY	4		1655	EASTERN RED CEDAR	Juniperus virginiana	6.5	REMOVE	SECONDARY	4	6.5
1554	EASTERN RED CEDAR	Juniperus virginiana	4.5	REMOVE	SECONDARY	4	4.5	1656	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1555	EASTERN RED CEDAR	Juniperus virginiana	5.5	REMOVE	SECONDARY	4	5.5	1657	EASTERN RED CEDAR	Juniperus virginiana	7	REMOVE	SECONDARY	4	7
1556	EASTERN RED CEDAR	Juniperus virginiana	6	REMOVE	SECONDARY	4	6	1658	EASTERN RED CEDAR	Juniperus virginiana	2.5	REMOVE	SECONDARY	4	
1557	EASTERN RED CEDAR	Juniperus virginiana	3.5	REMOVE	SECONDARY	4		1659	EASTERN RED CEDAR	Juniperus virginiana	3	REMOVE	SECONDARY	4	
1558	EASTERN RED CEDAR	Juniperus virginiana	11	REMOVE	SECONDARY	4	11	1660	EASTERN RED CEDAR	Juniperus virginiana	2.5	REMOVE	SECONDARY	4	
1559	EASTERN RED CEDAR														



VICINITY MAP
(NOT TO SCALE)

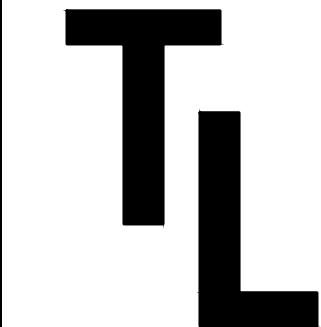
NO.	DATE	REVISION				
Westwood						
Westwood Professional Services, Inc.		westwoodps.com				
		7557 RAMBLER ROAD, SUITE 1400 DALLAS, TX 75231 T: 972.235.3031 TBPELS ENGINEERING FIRM NO. 11756 TBPELS SURVEYING FIRM NO. 10074301				
TREE SURVEY DATA						
ROCKWALL MANUFACTURING FACILITY						
PROJECT ADDRESS						
LOT 1, BLOCK A, ROCKWALL						
CITY OF ROCKWALL, ROCKWALL COUNTY, TEXAS						
DESIGN	DRAWN	DATE	SCALE	NOTES	FILE	NO.
JBJ	EJK	DEC 2025				L1.05



THESE DOCUMENTS ARE INTENDED FOR
INTERIM REVIEW ONLY AND NOT FOR
REGULATORY APPROVAL, PERMITTING, OR
CONSTRUCTION.

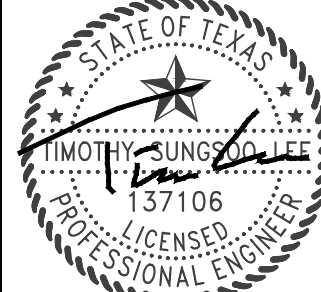
REGISTERED LANDSCAPE ARCHITECT
JEFFREY B. JOHNSTON
TEXAS REGISTRATION NUMBER 2915

[illegible]



ENGINEERING

505 Vaux Dr
Johns Creek, GA 30097
PH: 678-430-8664
tne@teengineering.com
TEXAS FIRM #1-22425 INDIVIDUAL #137106
JOB #T125343



12-04-25

ISSUE / REVISION:

12-04-25 - PERMIT SET

PROJECT NAME:

PRATT ROCKWALL
3400 DISCOVERY BLVD
ROCKWALL, TX
FOR: ARCO
ATLANTA, GA

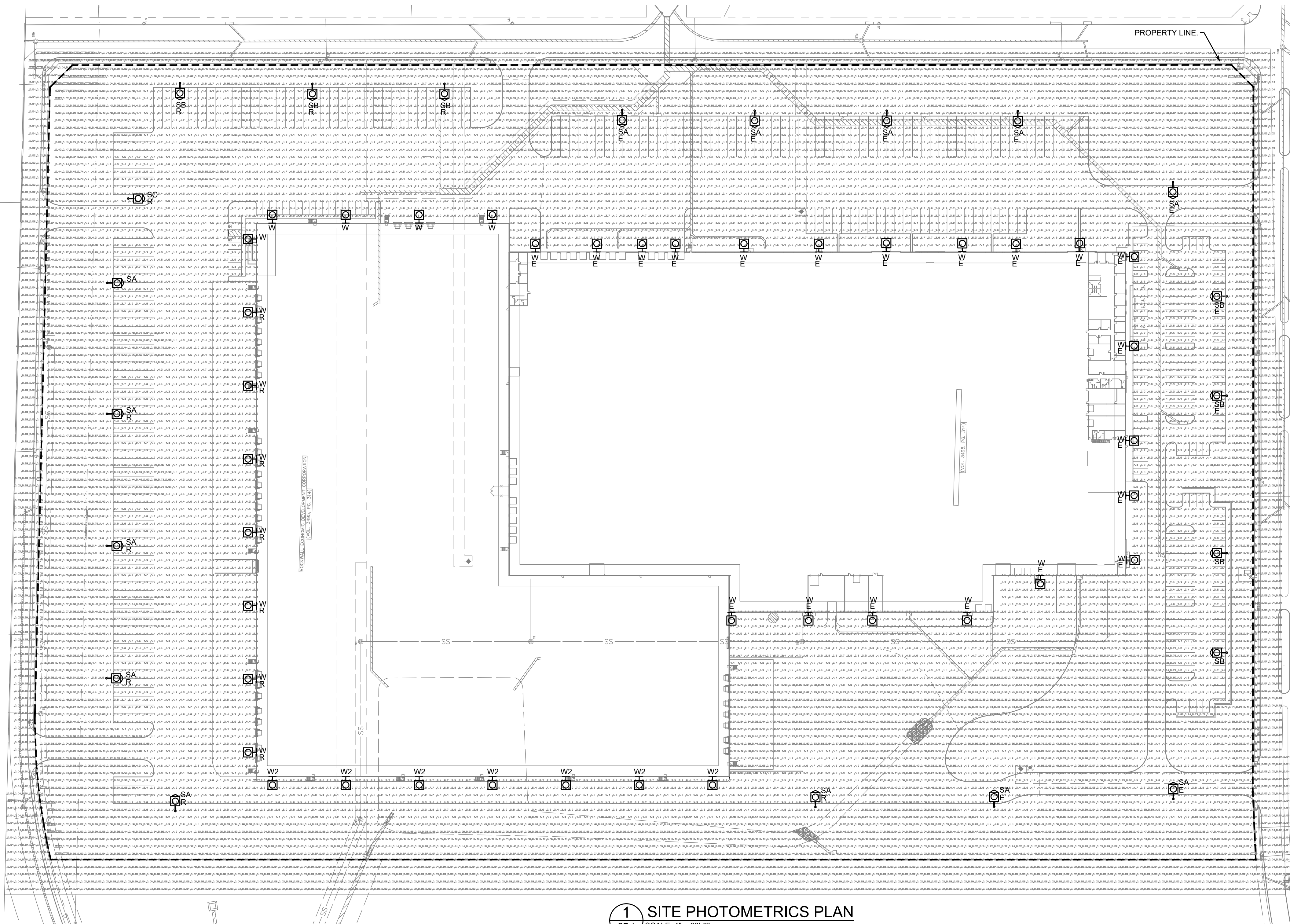
SHEET TITLE:

SITE PHOTOMETRICS
PLAN

SHEET NUMBER:

CE-1

OF 2 SHEETS.
SHEET SIZE: 24x36



1 SITE PHOTOMETRICS PLAN
CE-1 SCALE: 1" = 80'-0"

SITE DATA
SUMMARY TABLE

- PROPOSED USE:
INDUSTRIAL FACILITY
- GROSS BUILDING AREA:
INDUSTRIAL BUILDING: 732,000 SF
NUMBER OF STORIES: 1
- BUILDING HEIGHT:
MAX BUILDING HEIGHT=40'-4"
- PARKING REQUIRED:
PARKING RATIO = 1 SPACE PER 1,000 SF OF BUILDING
TOTAL REQUIRED = 732 SPACES
- PARKING PROVIDED:
PROPOSED REGULAR PARKING = 204 SPACES
PROPOSED H.C. PARKING = 8 SPACES
TOTAL PROVIDED = 204+8 = 212 SPACES
- SITE COVERAGE:
TOTAL SITE: 1,786,759 SF (41.02 AC)
BUILDING: 731,820 SF (16.80 AC)
PAVEMENT: 582,919 SF (13.38 AC)
LANDSCAPE: 472,020 SF (10.84 AC)

BUILDING COVERAGE: 41% < 60.0% MAX
PAVEMENT COVERAGE: 32.6%
LANDSCAPE COVERAGE: 26.4%
PERCENT IMPERVIOUS: 73.6% < 85.0%-90.0% MAX
- ZONING:
LIGHT INDUSTRIAL

LIGHT FIXTURE SCHEDULE

DESIGNATION	DESCRIPTION	LAMPING	WATTS/VOLTS
SA	EXTERIOR POLE LIGHT FIXTURE, T4 FORWARD THROW, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U T4FT BZ MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
SB	EXTERIOR POLE LIGHT FIXTURE, T4 SPILL CONTROL WITH HOUSE SHIELD, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U SL4 BZ HSS MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
SC	EXTERIOR POLE LIGHT FIXTURE, T5 SQUARE, 30'AFG WITH POLE MCGRAW-EDISON #GLEON SA6 C 740 U 5M Q BZ MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
W	EXTERIOR WALL MOUNT, 28'AFG, T4 FORWARD THROW MCGRAW-EDISON #GLEON SA6 C 740 U T4FT BZ WM MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V
W2	EXTERIOR WALL MOUNT, 28'AFG, T2 MCGRAW-EDISON #GLEON SA6 C 740 U T2 BZ WM MATCH/REUSE EXISTING LIGHT FIXTURES	LED	333W 120V-277V

- NOTES:
- COORDINATE COLOR, FINISH, TRIM, AND OTHER AESTHETICS WITH ARCHITECTURAL DRAWINGS OR OWNER.
 - PROVIDE ALL NECESSARY OPTIONS/MOUNTS/ACCESSORIES FOR THE APPROPRIATE CEILING TYPES FOR COMPLETE INSTALLATION.
 - LIGHT FIXTURES CONTROLLED BY A DIMMER SHALL BE COORDINATED TO MATCH DIMMING TYPES. PROVIDE ADDITIONAL DIMMERS AND SPLIT SWITCHING IF DIMMING TECHNOLOGY DIFFERS.
 - LIGHT FIXTURES IN LOCATIONS UNDERGROUND, SUBJECT TO WATER, OR EXPOSED TO WEATHER SHALL BE WET LOCATION LISTED. LIGHT FIXTURES IN LOCATIONS SUBJECT TO MODERATE DEGREES OF MOISTURE SHALL BE DAMP LOCATION LISTED.
 - ALL EXIT AND EMERGENCY LIGHTING SHALL HAVE A MINIMUM 90 MINUTE BATTERY PACK.

PHOTOMETRICS NOTES

- THE PHOTOMETRIC VALUES SHOWN ON THIS PLAN HAVE BEEN CALCULATED USING Dialux evo 9.1 (VERSION 5.9.1.51180). ACTUAL PERFORMANCE OF LUMINAIRES MAY DIFFER DUE TO VARIATIONS OF VOLTAGE, TOLERANCES IN LAMPS, ELEVATION CHANGES, TREES, OBSTRUCTIONS, AND OTHER FIELD CONDITIONS.
- DUE TO LIMITED AVAILABILITY OF .IES FILES FROM MOST LIGHTING MANUFACTURERS, THE LUMINAIRE MODEL NUMBER(S) USED FOR PHOTOMETRIC CALCULATIONS MAY DIFFER FROM ACTUAL MODEL NUMBERS. SEE LIGHT FIXTURE SCHEDULE FOR ACTUAL MODEL NUMBERS.

ELECTRICAL ABBREVIATIONS

AF	ABOVE FINISHED FLOOR TO TOP OF DEVICE
AFG	ABOVE FINISHED GRADE TO TOP OF DEVICE
E	EXISTING DEVICE
R	RELOCATED DEVICE

Luminaire list (Site 1)

Index	Manufacturer	Article name	Item number	Fitting	Luminous flux	Light loss factor	Connected load
W,SA	COOPER LIGHTING SOLUTIONS - McGraw-Edison (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV FORWARD THROW OPTICS	GLEON-SA6C-740 -U-T4FT	96x	42558 lm	0.92	333 W
SB	COOPER LIGHTING SOLUTIONS - McGraw-Edison (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE IV SPILL LIGHT ELIMINATOR OPTICS WITH HOUSE SIDE SHIELD	GLEON-SA6C-740 -U-SL4-HSS	96x	34333 lm	0.92	333 W
W2	COOPER LIGHTING SOLUTIONS - McGraw-Edison (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE II OPTICS	GLEON-SA6C-740 -U-T2	96x	41518 lm	0.92	333 W
SC	COOPER LIGHTING SOLUTIONS - McGraw-Edison (FORMERLY EATON)	GALLEON AREA AND ROADWAY LUMINAIRE (6) 70 CRI, 4000K, 1050mA LIGHTSQUARES WITH 16 LEDS EACH AND TYPE V MEDIUM OPTICS	GLEON-SA6C-740 -U-5M Q	96x	44444 lm	0.92	333 W

#	Name	Parameter	Min	Max	Average	Min/average	Min/max
1	ON PROPERTY	Perpendicular Illuminance	0.006 fc	10.4 fc	1.84 fc	0.003	0.001
2	OFF PROPERTY	Perpendicular Illuminance	0.004 fc	0.19 fc	0.044 fc	0.080	0.018

Project	Catalog #	Type
Prepared by	Notes	Date



McGraw-Edison GLEON Galleon

Area / Site Luminaire

Product Features



Product Certifications



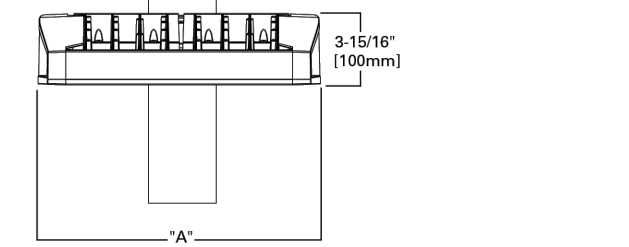
Connected Systems

- WaveLux PRO Wireless
- WaveLux LITE Wireless
- Enlighted

Quick Facts

- Lumen packages range from 4,200 - 80,800 (34W - 640W)
- Efficacy up to 156 LPW
- Options to meet Buy American and other domestic preference requirements

Dimensional Details



Number of Light Squares	A" Width	B" Standard Arm Length	T" Extended Arm Length	B" OM Arm Length	T" OML Length	T" OMEA Length
1-4	15-1/2"	7"	10"	10-5/8"	--	16-9/16"
5-6	21-5/8"	7"	10"	10-5/8"	--	16-9/16"
7-8	27-5/8"	7"	13"	10-5/8"	10-5/16"	--
9-10	33-3/4"	7"	16"	--	10-5/16"	--

NOTES:
1. For arm selection requirements and additional line art, see Mounting Details section.
2. BAA Certified for 3000K CCT and warmer only.



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August 8, 2024 10:35 PM

McGraw-Edison

GLEON Galleon

Optical Distributions

